

PLAN REFERENCES:

1. "EXISTING CONDITIONS PLAN, TAX MAP 1 LOTS 659-A, 741, 743 & 744-A, WEARE ROAD, AKA ROUTE 114, HENNIKER, NEW HAMPSHIRE"; PREPARED FOR BIG WHITE DOG, LLC; PREPARED BY: J.E. BELANGER LAND SURVEYING, PLLC; DATED OCTOBER 15, 2020; SCALE 1"=200'.

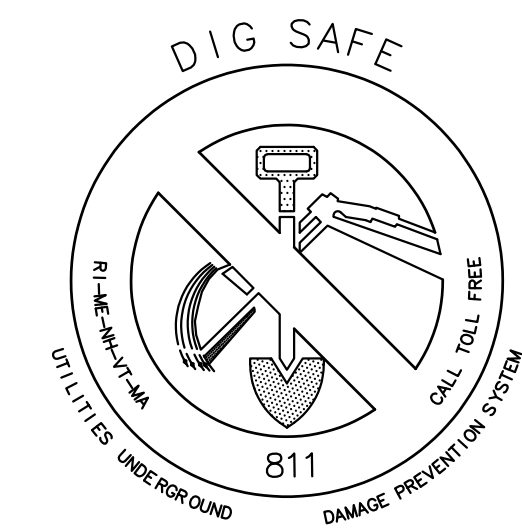
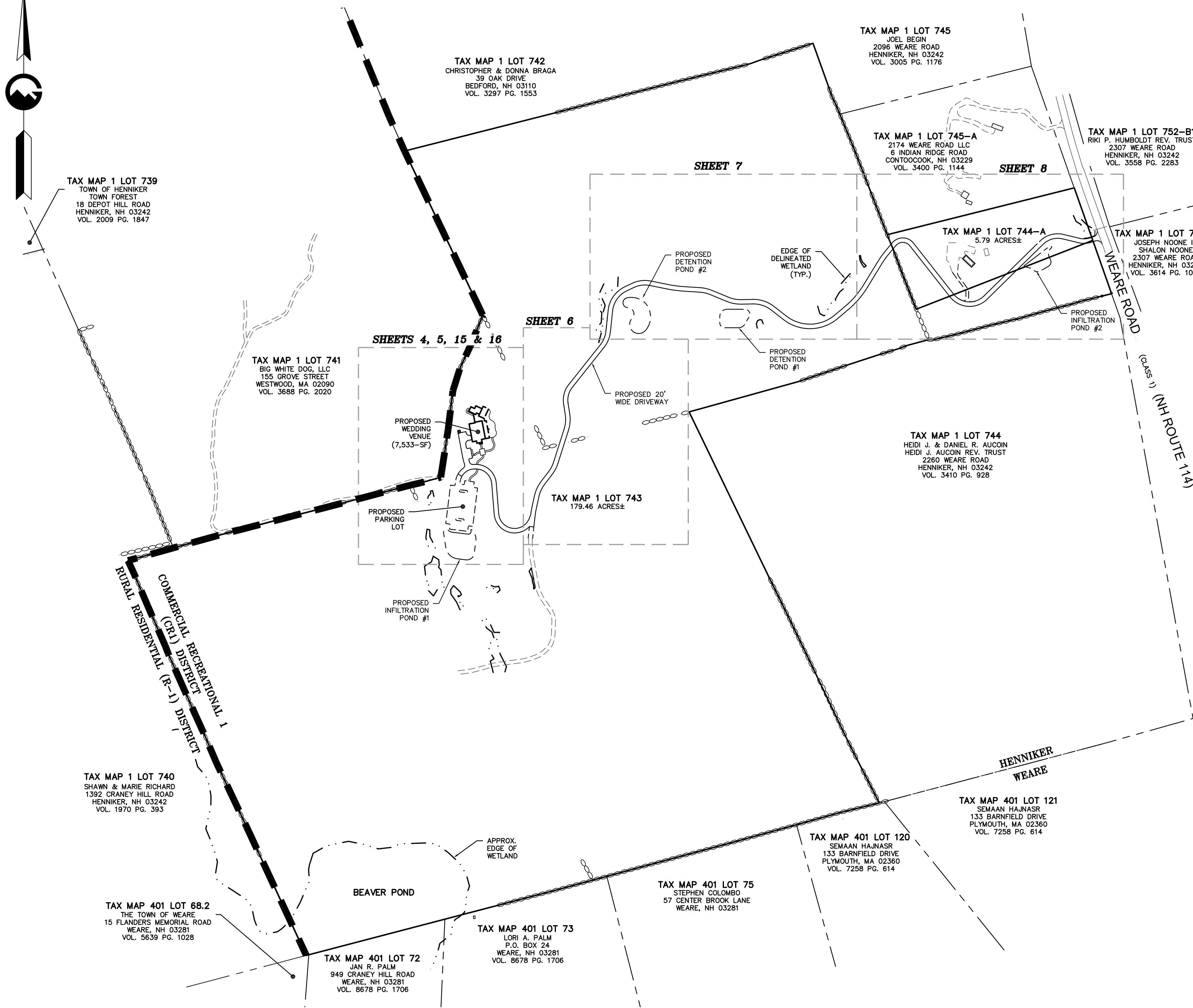
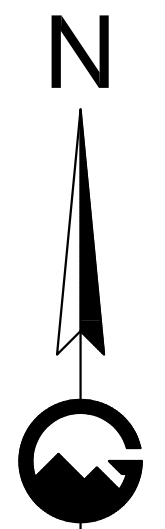
GENERAL NOTES:

1. THE PURPOSE OF THIS PLAN IS TO ILLUSTRATE A PROPOSED WEDDING VENUE AND ACCESS ROAD ON TAX MAP 1, LOTS 743 & 744A IN THE TOWN OF HENNIKER, NEW HAMPSHIRE.
2. AREA OF LOT 743 = 179.46 ACRES±
3. AREA OF LOT 744-A = 5.79 ACRES±
4. OWNER OF RECORD:
BIG WHITE DOG, LLC
155 GROVE STREET
WESTWOOD, MA 02090
5. THE SUBJECT PROPERTIES ARE LOCATED ENTIRELY WITHIN THE COMMERCIAL RECREATIONAL-1 (CR-1) ZONING DISTRICT AND ARE SUBJECT TO THE FOLLOWING DIMENSIONAL REGULATIONS:

TABLE OF ZONING REQUIREMENTS					
DESCRIPTION	REQUIRED	EXIST. LOT 743	EXIST. LOT 744-A	PROP. LOT 743	PROP. LOT 744-A
MINIMUM LOT SIZE	5 ACRES	179.46 ACRES	5.79 ACRES	179.46 ACRES	5.79 ACRES
MINIMUM LOT FRONTAGE	50 FT	250.0 FT	245.9 FT	250.0 FT	245.9 FT
FRONT YARD SETBACK	30 FT*	N/A	523.62 FT	>30 FT	523.62 FT
SIDE YARD SETBACK	15 FT	N/A	83.57 FT	>15 FT	83.57 FT
REAR YARD SETBACK	15 FT	N/A	270.93 FT	80.90 FT	270.93 FT
BUILDING HEIGHT	3 STORIES	N/A	1 STORY	1 STORY	1 STORY

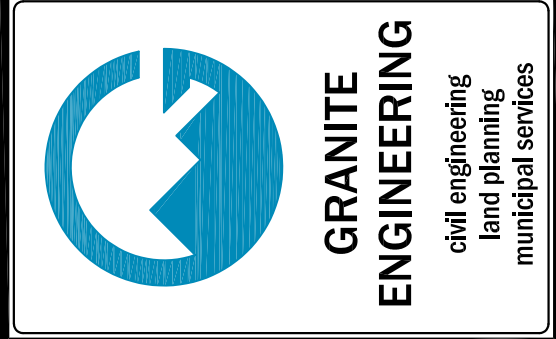
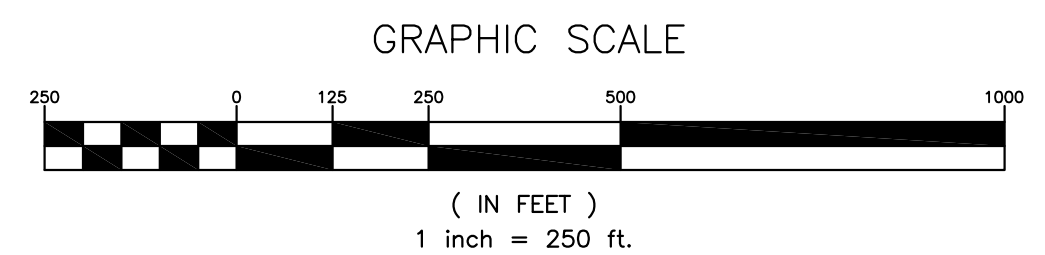
* EXCEPT THAT A BUILDING MAY BE CONSTRUCTED IN LINE WITH EXISTING ADJACENT BUILDINGS WITHIN THE SAME LOT.

5. PARKING CALCULATIONS:
WEDDING FACILITY:
REQUIRED PARKING = 1 SPACE/500-SF * 7,533-SF = 15.1 SPACES
PARKING PROPOSED = 81 SPACES (INCLUDES 4 HC SPACES)
6. EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR MERRIMACK COUNTY, TOWN OF HENNIKER, NH, MAP NUMBER 33013C0493E, PANEL NUMBER 377 OF 701, EFFECTIVE DATE 09/25/2009 INDICATES THAT NO PORTION OF THE SUBJECT PARCEL IS LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA.
7. THE SUBJECT PROPERTIES WILL BE SERVICED BY ONSITE WELLS AND SEPTIC SYSTEMS.
8. BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED ON A FIELD SURVEY PERFORMED BY J.E. BELANGER LAND SURVEYING, PLLC IN SEPTEMBER AND OCTOBER OF 2020 COMBINED WITH STATE GENERATED LIDAR DATA BY THIS OFFICE.
9. HORIZONTAL DATUM IS NAD83. VERTICAL DATUM IS NAVD88. HORIZONTAL AND VERTICAL DATUM SHOWN BASED ON GPS OBSERVATIONS, PROCESSED THROUGH OPUS, BY J.E. BELANGER LAND SURVEYING, PLLC.
10. WETLANDS BOUNDARIES ON THIS PLAN WERE DELINEATED ON OCTOBER 20, 2020, BY THOMAS E. SOKOLOSKI OF TES ENVIRONMENTAL CONSULTANTS, LLC; IN ACCORDANCE WITH THE TECHNIQUES OUTLINED IN THE CORPUS OF ENGINEERS WETLANDS DELINEATION MANUAL, TECHNICAL REPORT Y-87-1, JANUARY 1987.
11. SITE IMPROVEMENTS ON THE PLAN SHALL CONFORM WITH TITLE III OF THE AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSION AND GRADE.
12. PLOWED SNOW FROM THE FACILITIES DRIVEWAY, PARKING LOTS AND SIDEWALK SHALL BE STORED IN THE DESIGNATED AREAS SHOWN IN THIS PLAN SET. WHEN THE SNOW STORAGE AREAS ARE AT CAPACITY, SUBSEQUENT SNOW SHALL BE HAULED OFF-SITE AND DISPOSED OF IN AN ENVIRONMENTALLY SOUND FASHION AND IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
13. THE FOLLOWING STATE & FEDERAL PERMITS ARE REQUIRED FOR THIS PROJECT:
- NHDES AOT
- NHDES NON-COMMUNITY WATER SYSTEM APPROVAL
- NHDES SUBSURFACE SYSTEM APPROVAL
- NHDOT DRIVEWAY PERMIT
14. THE LOCATION OF ANY UNDERGROUND UTILITIES IS APPROXIMATE. GRANITE ENGINEERING, LLC MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF THE UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON-SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 811.
15. PRIOR TO THE START OF CONSTRUCTION AND UPON COMPLETION OF CONSTRUCTION, THE SITE CONTRACTOR SHALL NOTIFY THE NHDES ALTERATION OF TERRAIN BUREAU.
16. SITE CONTRACTOR SHALL BE REQUIRED TO BE FAMILIAR WITH ALL LOCAL, STATE AND FEDERAL PERMITS ASSOCIATED WITH THIS PROJECT.
17. THIS PROJECT DISTURBS MORE THAN 1-ACRE OF LAND, THEREFORE, IT WILL BE REQUIRED TO OBTAIN NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT COVERAGE AS ISSUED BY THE ENVIRONMENT PROTECTION AGENCY (EPA).



LEGEND

---	ABUTTER LINE
---	PROPERTY LINE
---	EXIST. EDGE OF PAVEMENT
---	PROP. EDGE OF PAVEMENT
---	EXIST. GRAVEL
---	PROP. GRAVEL
---	STONEWALL
---	ZONE LINE
---	TOWN LINE
---	SHEET LINES



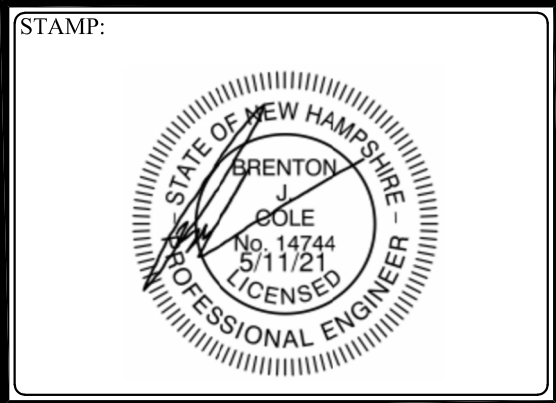
NO.	DATE	REVISIONS
0	05/12/2021	PROJECT SUBMITTAL

OWNER/APPLICANT:
BIG WHITE DOG, LLC
155 GROVE STREET
WESTWOOD, MA 02090

GRANITE ENGINEERING
civil engineering • land planning • municipal services

150 Dow Street, Tower 2, Suite 421
Manchester, New Hampshire 03101
603.518.8030

www.GraniteEng.com

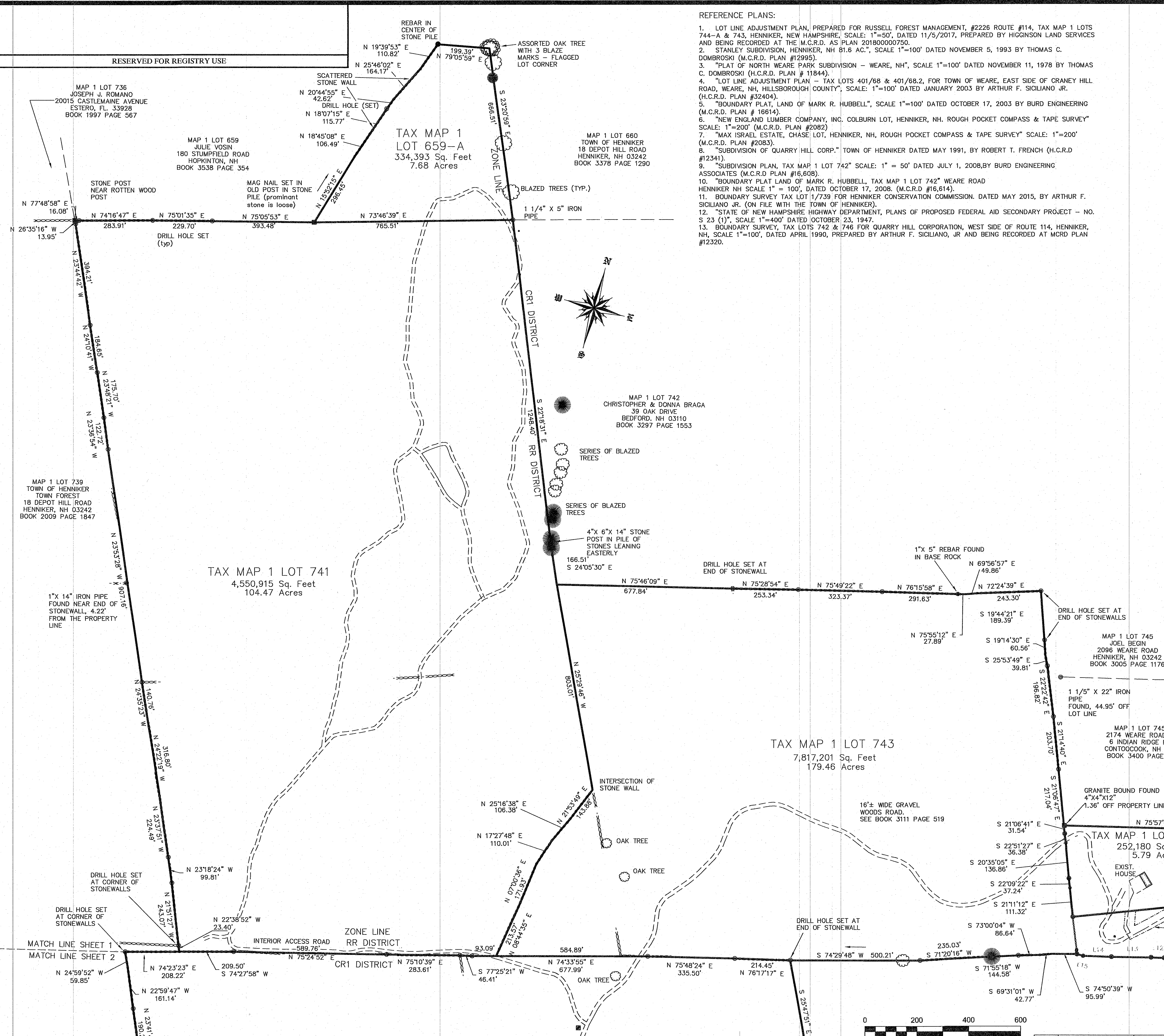


LOCATION:
TAX MAP 1 LOTS 743 & 744-A
2226 WEARE ROAD
HENNIKER, NEW HAMPSHIRE
MERRIMACK COUNTY

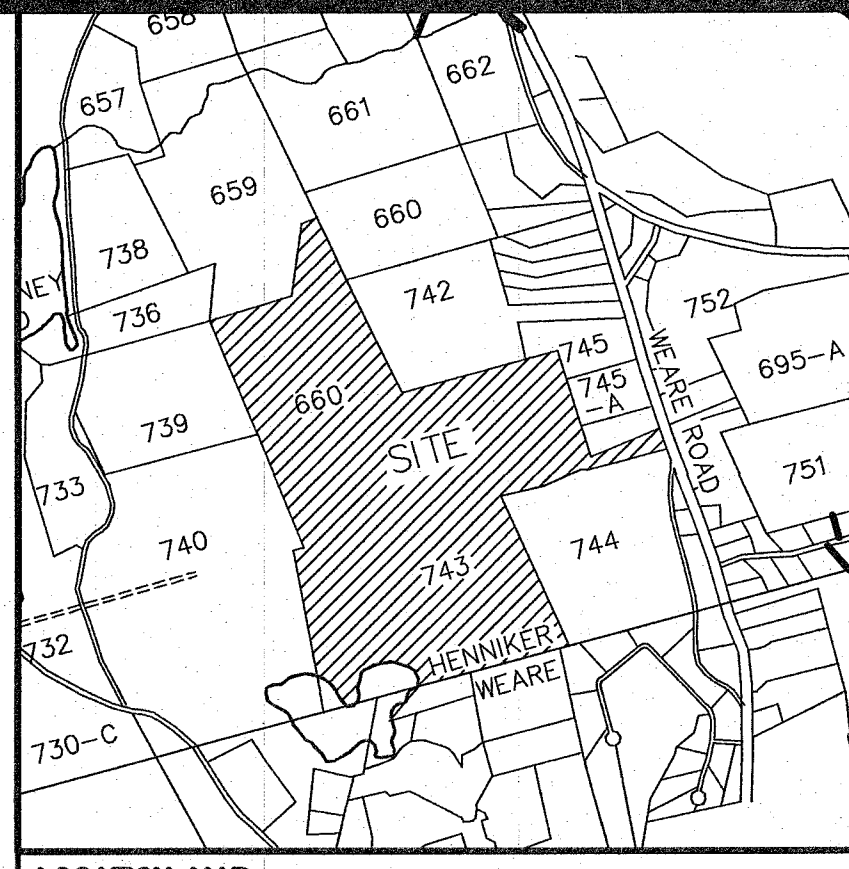
PROJECT:
MOUNTAIN TOP VENUE

TITLE:
OVERVIEW PLAN

PROJECT No: 20-0820-1 DATE: MAY 12, 2021 SCALE: 1"=250'
SHEET: 1 OF 31



- REFERENCE PLANS:
- LOT LINE ADJUSTMENT PLAN, PREPARED FOR RUSSELL FOREST MANAGEMENT, #2226 ROUTE #114, TAX MAP 1 LOTS 744-A & 743, HENNIKER, NEW HAMPSHIRE, SCALE: 1"=50', DATED 11/5/2017, PREPARED BY HIGGINSON LAND SERVICES AND BEING RECORDED AT THE M.C.R.D. AS PLAN 20180000750.
 - STANLEY SUBDIVISION, HENNIKER, NH 81.6 AC., SCALE 1"=100' DATED NOVEMBER 5, 1993 BY THOMAS C. DOMBROSKI (M.C.R.D. PLAN #12995).
 - "PLAT OF NORTH WEARE PARK SUBDIVISION - WEARE, NH", SCALE 1"=100' DATED NOVEMBER 11, 1978 BY THOMAS C. DOMBROSKI (H.C.R.D. PLAN # 11844).
 - "LOT LINE ADJUSTMENT PLAN - TAX LOTS 401/68 & 401/68.2, FOR TOWN OF WEARE, EAST SIDE OF CRANEY HILL ROAD, WEARE, NH, HILLSBOROUGH COUNTY", SCALE: 1"=100' DATED JANUARY 2003 BY ARTHUR F. SICILIANO JR. (H.C.R.D. PLAN #32404).
 - "BOUNDARY PLAT, LAND OF MARK R. HUBBELL", SCALE 1"=100' DATED OCTOBER 17, 2003 BY BURD ENGINEERING (M.C.R.D. PLAN # 16614).
 - "NEW ENGLAND LUMBER COMPANY, INC. COLBURN LOT, HENNIKER, NH. ROUGH POCKET COMPASS & TAPE SURVEY" SCALE: 1"=200' (M.C.R.D. PLAN #2082).
 - "MAX ISRAEL ESTATE, CHASE LOT, HENNIKER, NH. ROUGH POCKET COMPASS & TAPE SURVEY" SCALE: 1"=200' (M.C.R.D. PLAN #2083).
 - "SUBDIVISION OF QUARRY HILL CORP.", TOWN OF HENNIKER DATED MAY 1991, BY ROBERT T. FRENCH (H.C.R.D. #12341).
 - "SUBDIVISION PLAN, TAX MAP 1 LOT 742" SCALE: 1" = 50' DATED JULY 1, 2008, BY BURD ENGINEERING ASSOCIATES (M.C.R.D. PLAN #16,608).
 - "BOUNDARY PLAT LAND OF MARK R. HUBBELL, TAX MAP 1 LOT 742" WEARE ROAD HENNIKER NH SCALE 1" = 100', DATED OCTOBER 17, 2008. (M.C.R.D. #16,614).
 - BOUNDARY SURVEY TAX LOT 1/739 FOR HENNIKER CONSERVATION COMMISSION. DATED MAY 2015, BY ARTHUR F. SICILIANO JR. (ON FILE WITH THE TOWN OF HENNIKER).
 - "STATE OF NEW HAMPSHIRE HIGHWAY DEPARTMENT, PLANS OF PROPOSED FEDERAL AID SECONDARY PROJECT - NO. S 23 (1)", SCALE 1"=400' DATED OCTOBER 23, 1947.
 - BOUNDARY SURVEY, TAX LOTS 742 & 746 FOR QUARRY HILL CORPORATION, WEST SIDE OF ROUTE 114, HENNIKER, NH, SCALE 1"=100', DATED APRIL 1990, PREPARED BY ARTHUR F. SICILIANO, JR AND BEING RECORDED AT MCRD PLAN #12320.



LEGEND

- CONCRETE/GRANITE BOUND
- IRON PIPE/PIN
- ⊙ DRILL HOLE
- ⊕ RE-BAR/STEEL PIN
- ⊖ TEST PIT
- ⊗ WELL
- ⊘ UTILITY POLE
- ⊙ STREET SIGN
- ⊙ MAIL BOX
- LOT LINE
- - - SETBACK LINE
- - - EDGE OF GRAVEL
- - - 510 - - CONTOUR
- ⊘ STONEWALL

NOTES:

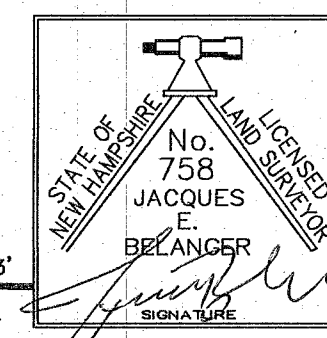
- SURVEY BY ROBOTIC TOTAL STATION IN SEPTEMBER AND OCTOBER OF 2020 WITH AN ERROR OF CLOSURE OF 1:10,000.
- NORTH ORIENTATION BASED ON NH STATE GRID SYSTEM ESTABLISHED WITH GPS OBSERVATIONS PROCESSED THROUGH OPUS.
- VERTICAL DATUM BASED ON NAVD88.
- OWNER OF RECORD: BIG WHITE DOG, LLC 155 GROVE ST. WESTWOOD MA 02090 BOOK 3703 PAGE 66
- THE SUBJECT PARCELS DO NOT LIE WITHIN THE FLOOD ZONE AS DEFINED ON THE FLOOD INSURANCE RATE MAP FOR THE TOWN OF HENNIKER, COMMUNITY PANEL 33013C0493E, DATED APRIL 19, 2010.
- SUBJECT PARCELS ARE ZONED IN THE CR1 (COMMERCIAL RECREATION 1 DISTRICT AND THE RR (RURAL RESIDENTIAL DISTRICT). LOTS 741 & 659-A ARE LOCATED IN THE RR ZONE AND LOTS 743 & 744-A ARE LOCATED IN THE CR1 ZONE. THESE LOTS ARE SUBJECT TO THE FOLLOWING ZONING REQUIREMENTS:
RR ZONE: MINIMUM LOT SIZE: 5 ACRES WITH OR WITHOUT TOWN WATER AND SEWER. MINIMUM FRONTAGE: 250 FEET BUILDING SETBACKS: FRONT=30', SIDE & REAR=15'
CR1 ZONE: MINIMUM LOT SIZE: 5 ACRES WITH OR WITHOUT TOWN WATER AND SEWER. MINIMUM FRONTAGE: 125 FEET BUILDING SETBACK: FRONT=30', SIDE & REAR=15'

CERTIFICATIONS

I HEREBY CERTIFY THAT THIS MAP HAS BEEN MADE UNDER MY SUPERVISION.
 3/10/21 DATE
 JACQUES BELANGER LICENSED LAND SURVEYOR

I HEREBY CERTIFY THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY & HAS A MAXIMUM ERROR OF CLOSURE OF 1:10,000 ON ALL PROPERTY LINES IN & BORDERING THE SUBJECT PROPERTY.
 3/10/21 DATE
 JACQUES BELANGER LICENSED LAND SURVEYOR

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE & THAT THE LINES OF STREETS & WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED & THAT NO NEW WAYS ARE SHOWN.
 3/10/21 DATE
 JACQUES BELANGER LICENSED LAND SURVEYOR



EXISTING CONDITIONS PLAN
 TAX MAP 1 LOTS 659-A, 741, 743 & 744-A
 WEARE ROAD, aka ROUTE 114
 HENNIKER NH
 MERRIMACK COUNTY

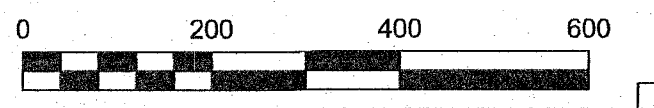
OWNER OF RECORD:
 BIG WHITE DOG, LLC
 155 GROVE STREET
 WESTWOOD MA 02090

J.E. BELANGER LAND SURVEYING PLLC
 LICENSED LAND SURVEYOR
 61 OLD HOPKINTON ROAD, DUNBAR, NH 03046

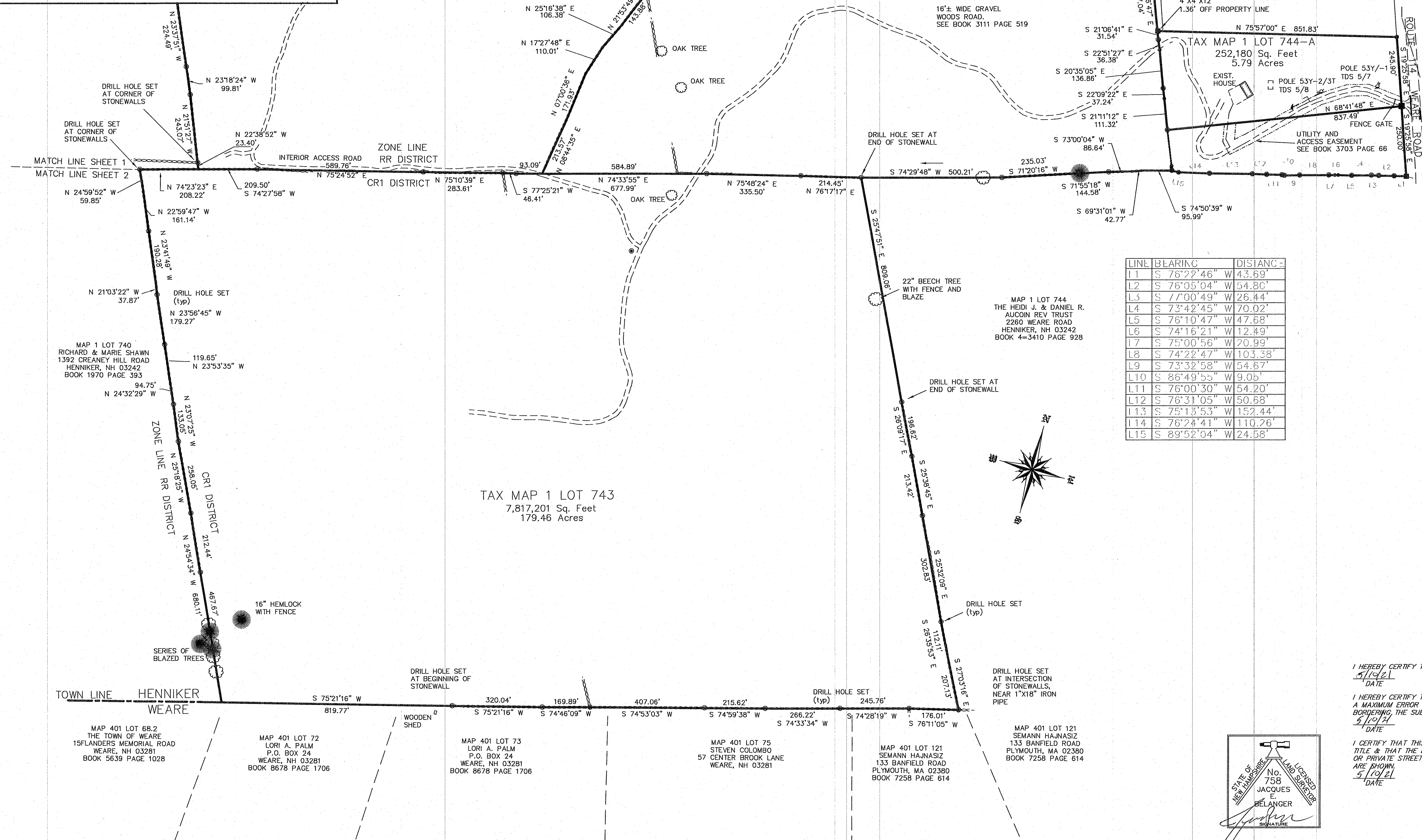
* BOUNDARY SURVEYS
 * SUBDIVISIONS
 * LAND PLANNING
 * SEPTIC DESIGN

PLAN DATE: OCTOBER 15, 2020
 SCALE: 1" = 200'
 PROJECT NO.: 202140
 SHEET 2 OF 31

TEL (603) 774-3601



RESERVED FOR REGISTRY USE



LINE	BEARING	DISTANCE
L1	S 76°22'46" W	43.69'
L2	S 76°05'04" W	54.80'
L3	S 77°00'49" W	26.44'
L4	S 73°42'45" W	70.02'
L5	S 76°10'47" W	47.68'
L6	S 74°16'21" W	12.49'
L7	S 75°00'56" W	20.99'
L8	S 74°22'47" W	103.38'
L9	S 73°32'58" W	54.67'
L10	S 86°49'55" W	9.05'
L11	S 76°00'30" W	54.20'
L12	S 76°31'05" W	50.68'
L13	S 75°18'53" W	152.44'
L14	S 76°24'41" W	110.26'
L15	S 89°52'04" W	24.58'

MAP 1 LOT 752-B1
RIKI P. HUMBOLDT REV. TRUST
2307 WEARE ROAD
HENNIKER, NH 03242
BOOK 3558 PAGE 2283

4X4 GRANITE BOUND
(FND) FLUSH

POLE 53Y/-1
TDS 5/7

POLE 53Y-2/3T
TDS 5/8

POLE 60N/537
TDS 5

MAP 1 LOT 752-B
JOSEPH NOONE IV
SHALON NOONE
2307 WEARE ROAD
HENNIKER, NH 03242
BOOK 3614 PAGE 1087

MAP 1 LOT 740
RICHARD & MARIE SHAWN
1392 CREAMNEY HILL ROAD
HENNIKER, NH 03242
BOOK 1970 PAGE 393

MAP 1 LOT 744
THE HEIDI J. & DANIEL R.
AUCOIN REV TRUST
2280 WEARE ROAD
HENNIKER, NH 03242
BOOK 4-3410 PAGE 928

MAP 401 LOT 68.2
THE TOWN OF WEARE
15FLANDERS MEMORIAL ROAD
WEARE, NH 03281
BOOK 5639 PAGE 1028

MAP 401 LOT 72
LORI A. PALM
P.O. BOX 24
WEARE, NH 03281
BOOK 8678 PAGE 1706

MAP 401 LOT 73
LORI A. PALM
P.O. BOX 24
WEARE, NH 03281
BOOK 8678 PAGE 1706

MAP 401 LOT 75
STEVEN COLOMBO
57 CENTER BROOK LANE
WEARE, NH 03281

MAP 401 LOT 121
SEMANN HAJNASIZ
133 BANFIELD ROAD
PLYMOUTH, MA 02380
BOOK 7258 PAGE 614

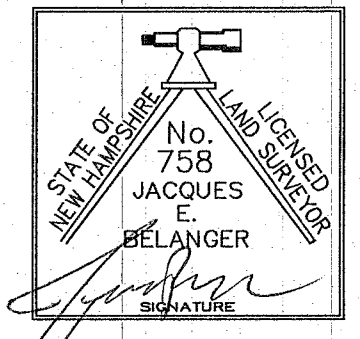
MAP 401 LOT 121
SEMANN HAJNASIZ
133 BANFIELD ROAD
PLYMOUTH, MA 02380
BOOK 7258 PAGE 614

CERTIFICATIONS

I HEREBY CERTIFY THAT THIS MAP HAS BEEN MADE UNDER MY SUPERVISION.
5/10/21 DATE *J. Belanger* LICENSED LAND SURVEYOR

I HEREBY CERTIFY THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY & HAS A MAXIMUM ERROR OF CLOSURE OF 1:10,000 ON ALL PROPERTY LINES IN & BORDERING THE SUBJECT PROPERTY.
5/10/21 DATE *J. Belanger* LICENSED LAND SURVEYOR

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE & THAT THE LINES OF STREETS & WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED & THAT NO NEW WAYS ARE SHOWN.
5/10/21 DATE *J. Belanger* LICENSED LAND SURVEYOR



- LEGEND**
- CONCRETE/GRANITE BOUND
 - IRON PIPE/PIN
 - DRILL HOLE
 - ⊕ RE-BAR/STEEL PIN
 - ⊙ TEST PIT
 - ⊕ WELL
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 - ⊕ STREET SIGN
 - ⊕ MAIL BOX
 - LOT LINE
 - - - SETBACK LINE
 - - - EDGE OF GRAVEL
 - - - 510 - - - CONTOUR
 - ⊕ - - - STONEWALL

REVISED MAY 10, 2021 -CORRECT ABUTTERS.

EXISTING CONDITIONS PLAN
TAX MAP 1 LOTS 659-A, 741,
743 & 744-A
WEARE ROAD, aka ROUTE 114
HENNIKER NH
MERRIMACK COUNTY

OWNER OF RECORD:
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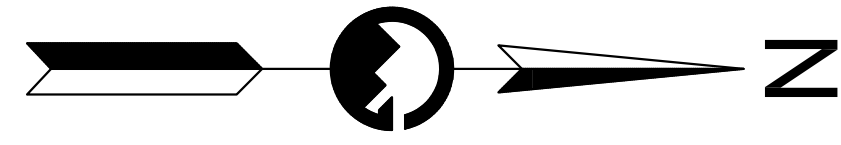
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LICENSED LAND SURVEYOR
61 OLD HOPKINTON ROAD, DUNBARTON, NH 03046

* BOUNDARY SURVEYS
* SUBDIVISIONS
* LAND PLANNING
* SEPTIC DESIGN

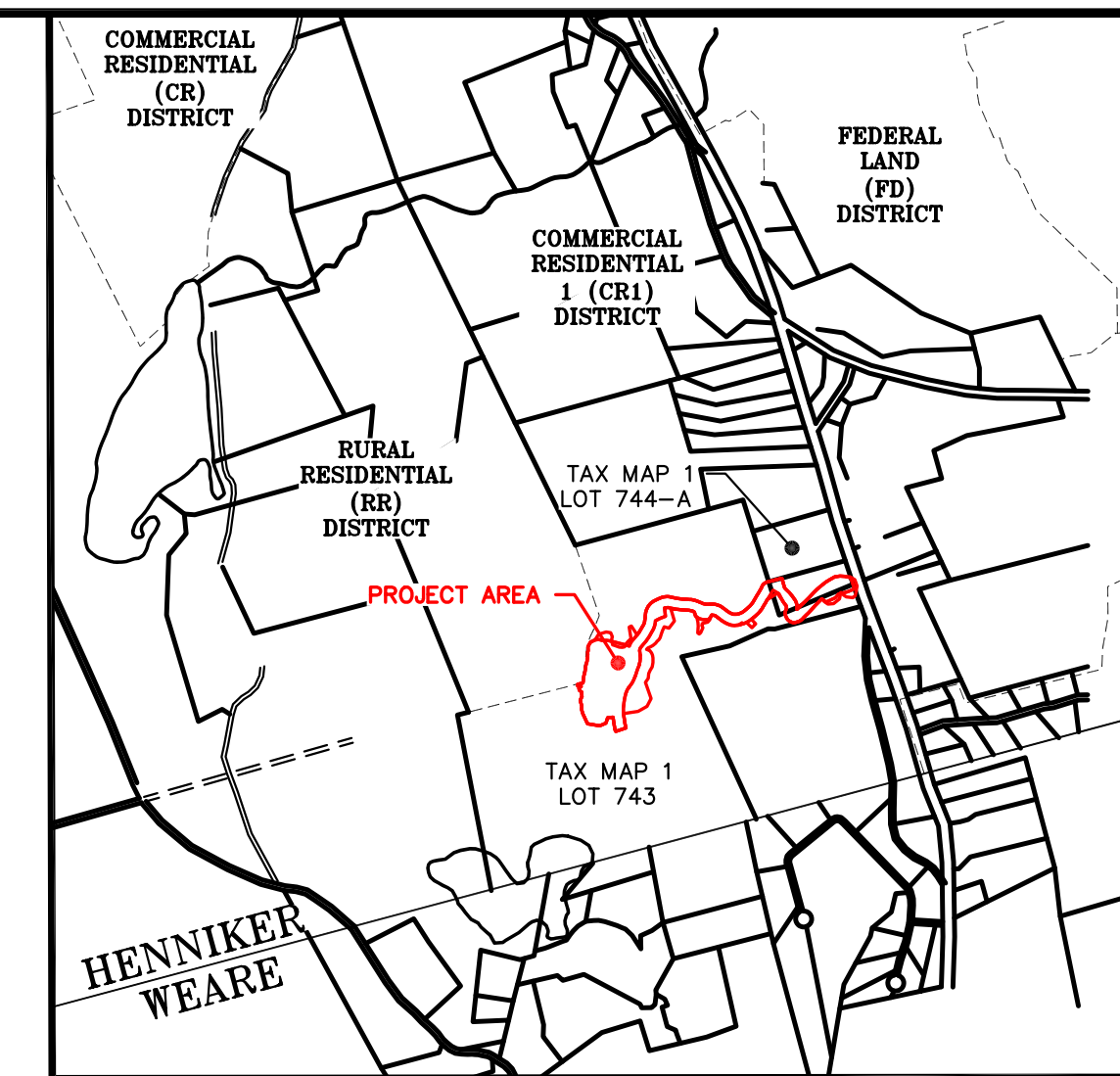
PLAN DATE: OCTOBER 15, 2020
SCALE: 1" = 200'
PROJECT NO.: 202140
SHEET 3 OF 31

TEL (603) 774-3601





SEE SHEET 1 FOR NOTES



GRANITE ENGINEERING
civil engineering • land planning • municipal services

NO.	DATE	COMMENTS
0	05/12/2021	PROJECT SUBMITTAL

OWNER/APPLICANT:
BIG WHITE DOG, LLC
155 GROVE STREET
WESTWOOD, MA 02090

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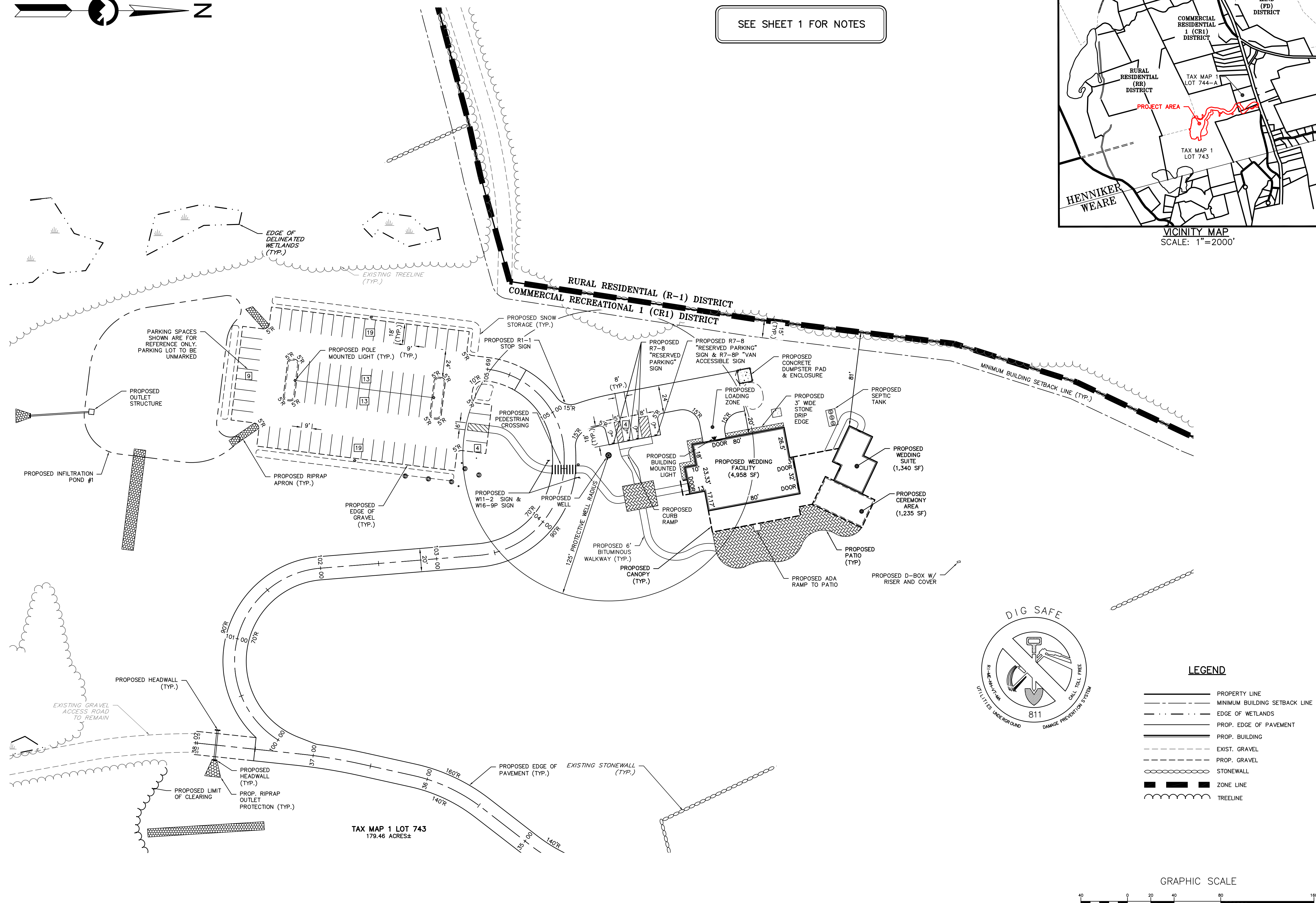
STAMP:

LOCATION:
TAX MAP 1 LOTS 743 & 744-A
2226 WEARE ROAD
HENNIKER, NEW HAMPSHIRE
MERRIMACK COUNTY

PROJECT:
MOUNTAIN TOP VENUE

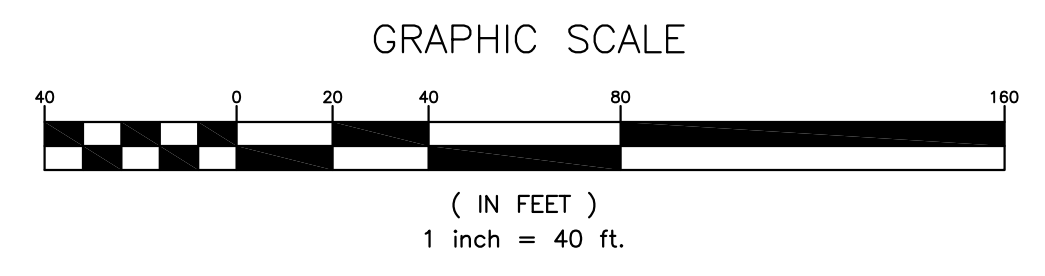
TITLE:
SITE PLAN

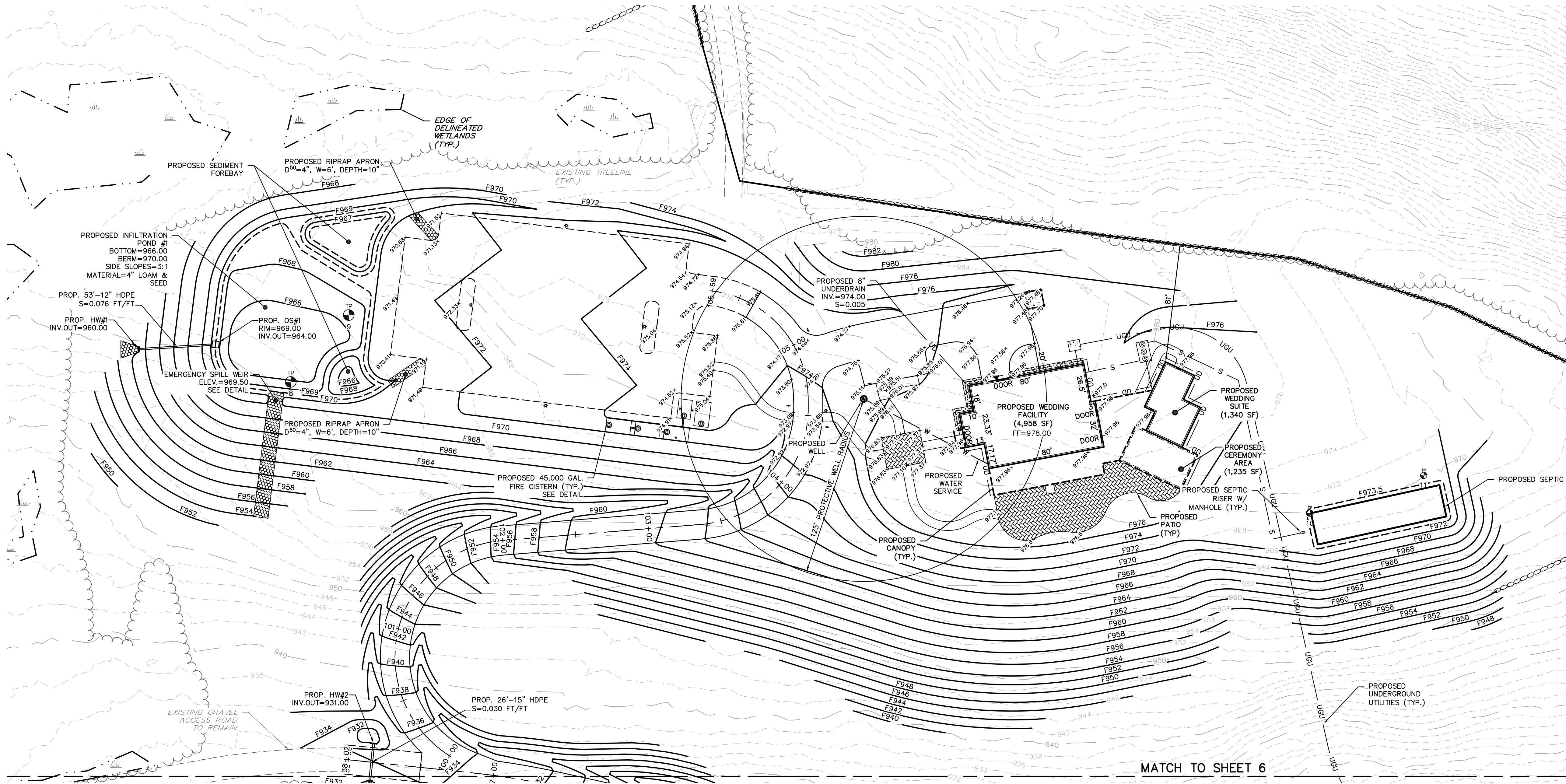
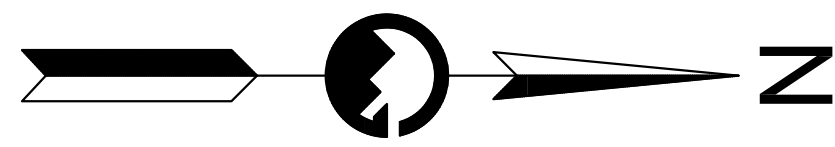
PROJECT No: 20-0820-1 DATE: MAY 12, 2021 SCALE: 1"=40'
SHEET: 4 OF 31



LEGEND

	PROPERTY LINE
	MINIMUM BUILDING SETBACK LINE
	EDGE OF WETLANDS
	PROP. EDGE OF PAVEMENT
	PROP. BUILDING
	EXIST. GRAVEL
	PROP. GRAVEL
	STONEWALL
	ZONE LINE
	TREELINE





CONSTRUCTION NOTES:

1. THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED GRADING AND DRAINAGE SYSTEMS FOR THIS PROJECT.
2. ALL WORK ON THE SUBJECT PROPERTY AND WITHIN THE TOWN OF HENNIKER RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TOWN OF HENNIKER'S CONSTRUCTION STANDARDS AND DETAILS, LATEST EDITION. IN THE ABSENCE OF A SPECIFIC TOWN SPECIFICATION, CONTRACTOR SHALL FOLLOW THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, APPROVED AND ADOPTED 2016.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 811 AT LEAST 72 HOURS BEFORE DIGGING.
4. CONTRACTOR TO COORDINATE UTILITY WORK WITH LOCAL PROVIDER.
5. ALL DISTURBED AREAS ARE TO BE LOAMED AND SEED.
6. SEE THE EROSION CONTROL PLAN FOR THE LOCATION OF THE TEMPORARY EROSION CONTROL DEVICES.
7. MATERIAL STOCKPILES SHALL BE ON LEVEL SITES WITH SILT FENCE INSTALLED AROUND THE PILE. STOCKPILES MUST BE SEEDED AND MULCHED IF STORED MORE THAN 14 DAYS.
8. THIS PROJECT DISTURBS MORE THAN 1+ ACRE OF LAND, THEREFORE, IT WILL BE REQUIRED TO OBTAIN NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT COVERAGE AS ISSUED BY THE ENVIRONMENTAL PROTECTION AGENCY (EPA).
9. ALL DRAINAGE PIPES SHOWN SHALL BE HDPE OR RCP. AREA DRAINS SHALL BE NYLOPLAST (OR EQUAL) WITH BEEHIVE/DITCH GRATE, AND SUMPS SHALL BE 6".
10. ALL DRAINAGE PIPE SHALL BE INSTALLED FOLLOWING MANUFACTURER'S INSTALLATION INSTRUCTIONS.
11. ALL WORKMANSHIP AND MATERIALS INCORPORATED INTO THE CONSTRUCTION OF THE ELECTRIC AND TELEPHONE LINES SHALL CONFORM WITH THE STANDARDS OF THE LOCAL PROVIDER.
12. CONTRACTOR SHALL COORDINATE WITH LOCAL PROVIDER RELATIVE TO FINAL LAYOUT OF UNDERGROUND UTILITIES.
13. CONTRACTOR TO VERIFY SIZE OF WATER SERVICE LINES WITH ARCHITECT PRIOR TO THE START OF CONSTRUCTION.
14. THE PROPOSED BUILDING SHALL BE FULLY SPRINKLER PROTECTED AND HAVE A FIRE ALARM AND BURGLAR SYSTEM.
15. FINAL LAYOUT OF UNDERGROUND UTILITIES TO BE APPROVED BY LOCAL PROVIDER PRIOR TO CONSTRUCTION.

WATER CONSTRUCTION NOTES:

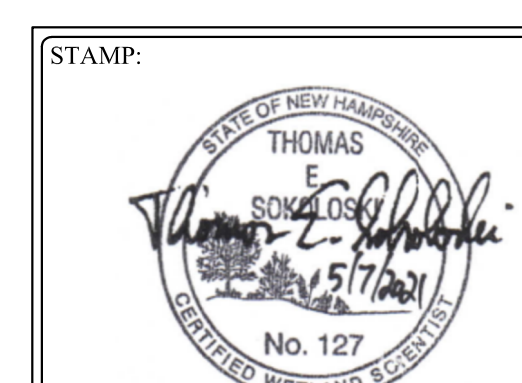
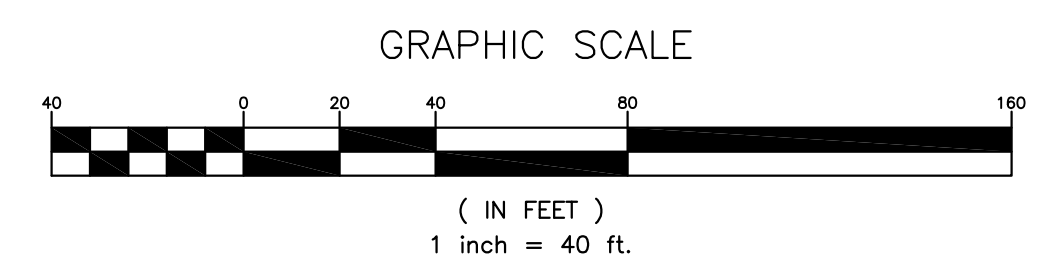
1. ALL DISTRIBUTION MATERIALS, INCLUDING MAINS, FITTINGS AND VALVES, TO MEET APPLICABLE AMERICAN WATER WORKS ASSOCIATION (AWWA) AND NEW HAMPSHIRE DES-DRINKING WATER GROUNDWATER BUREAU STANDARDS, AS APPLICABLE.
2. ALL INSTALLATION AND TESTING OF MATERIALS TO CONFORM TO AWWA STANDARDS FOR POTABLE WATER SYSTEMS.



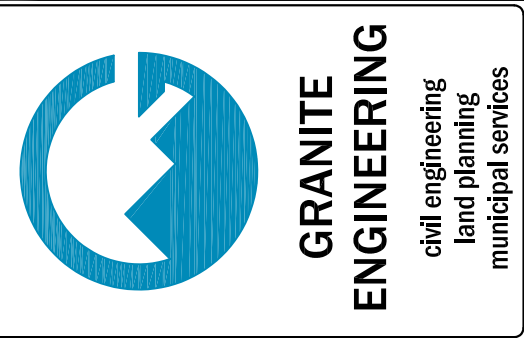
LEGEND

- ⊙ PROP. FIRE CISTERN MANHOLE
- ⊙ PROP. SEPTIC MANHOLE
- ⊙ PROP. UTILITY POLE
- ABUTTER LINE
- PROPERTY LINE
- - - - - EDGE OF WETLANDS
- PROP. EDGE OF PAVEMENT
- PROP. BUILDING
- - - - - EXIST. GRAVEL
- - - - - PROP. GRAVEL
- W — PROPOSED WATERLINE
- UD — PROPOSED UNDERDRAIN
- S — PROPOSED SEPTIC LINE
- OHU — PROPOSED OVERHEAD UTILITY
- UGU — PROPOSED UNDERGROUND UTILITY
- STONEWALL
- TREELINE
- RIPRAP
- DRIP EDGE

LOAM & SEED ALL DISTURBED AREAS (TYP.)



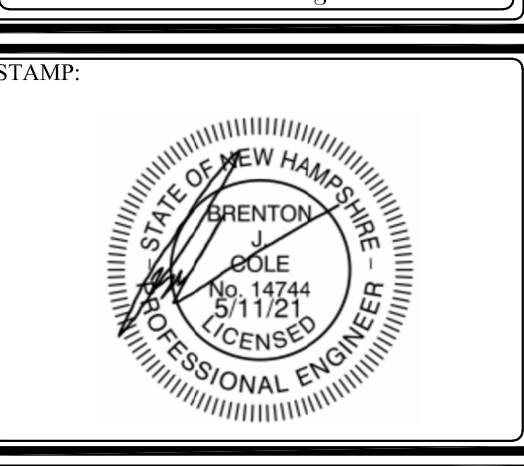
THOMAS SOKOLOSKI, CERTIFIED WETLAND SCIENTIST #127, OF TES ENVIRONMENTAL CONSULTANTS, L.L.C. OF BOW, NH, PERFORMED THE WETLAND MAPPING ON OCTOBER 20, 2020 ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL, NORTH-CENTRAL AND NORTHEAST REGION, VERSION 2.0, JANUARY 2012, US ARMY CORPS OF ENGINEERS.



NO.	DATE	REVISIONS
0	05/12/2021	PROJECT SUBMITTAL

OWNER/APPLICANT:
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155 GROVE STREET
WESTWOOD, MA 02090

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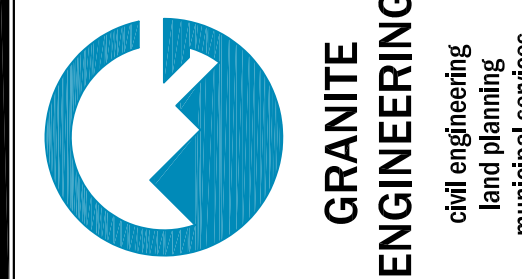
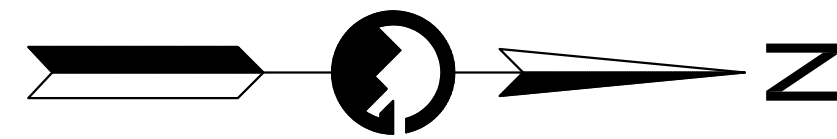


LOCATION:
TAX MAP 1 LOTS 743 & 744-A
2226 WEARE ROAD
HENNIKER, NEW HAMPSHIRE
MERRIMACK COUNTY

PROJECT:
MOUNTAIN TOP VENUE

TITLE:
GRADING, DRAINAGE & UTILITY PLAN

PROJECT No. DATE SCALE:
20-0820-1 MAY 12, 2021 HORIZ. 1"=40'
SHEET: 5 OF 31

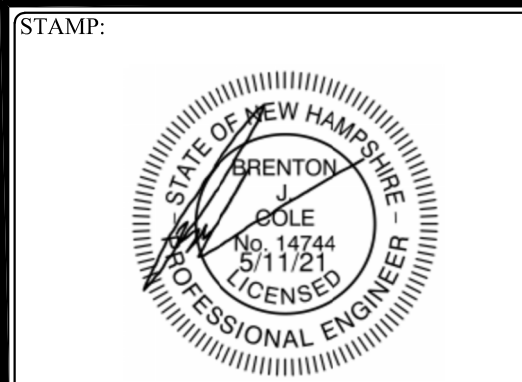


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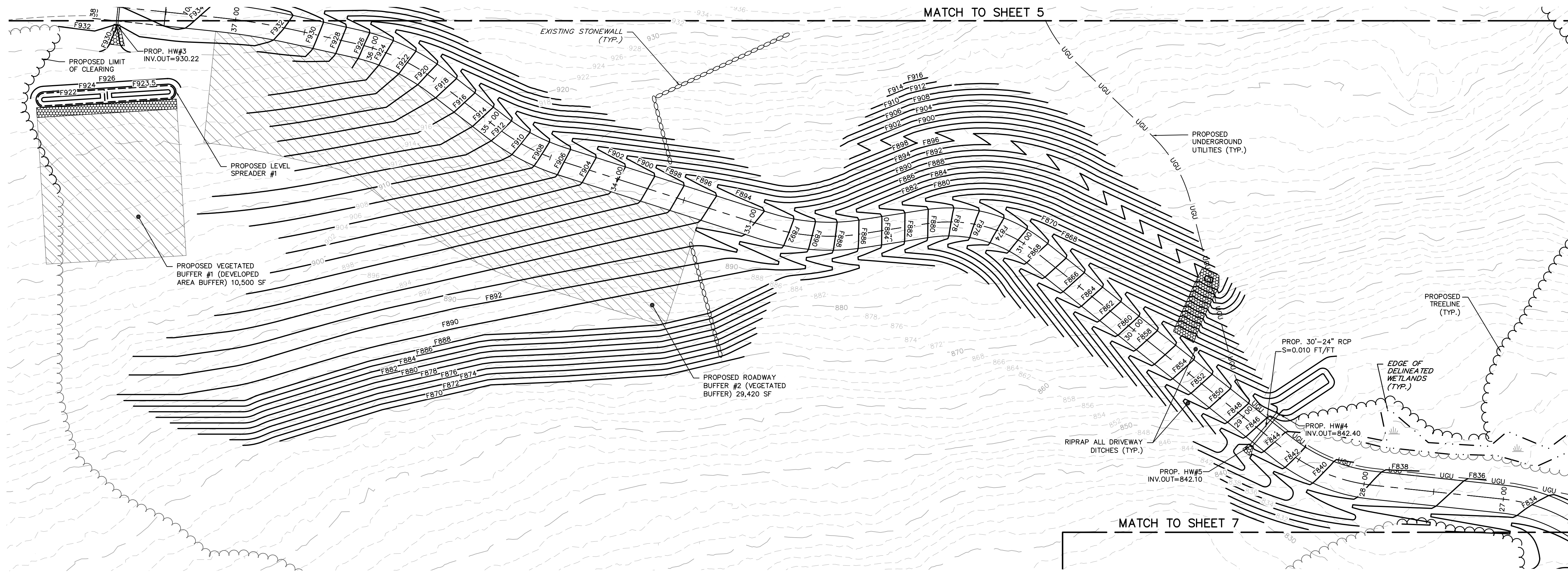


LOCATION:
TAX MAP 1 LOTS 743 & 744-A
2226 WEARE ROAD
HENNIKER, NEW HAMPSHIRE
MERRIMACK COUNTY

PROJECT:
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GRADING, DRAINAGE & UTILITY PLAN

PROJECT No: 20-0820-1 DATE: MAY 12, 2021 SCALE: HORIZ. 1"=40'
SHEET: 6 OF 31

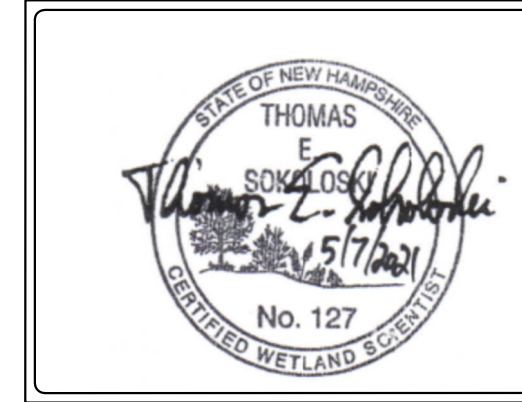
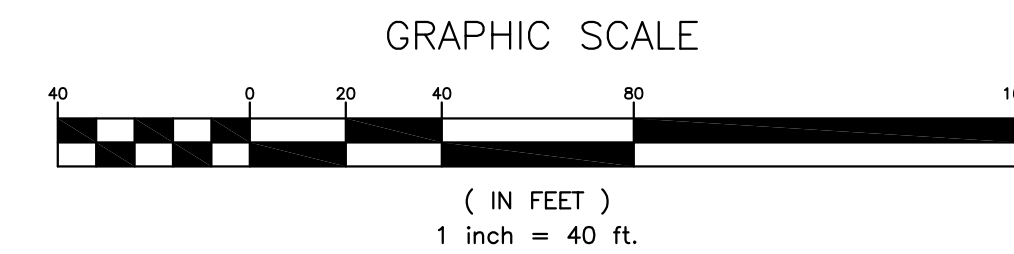


LOAM & SEED ALL DISTURBED AREAS (TYP.)

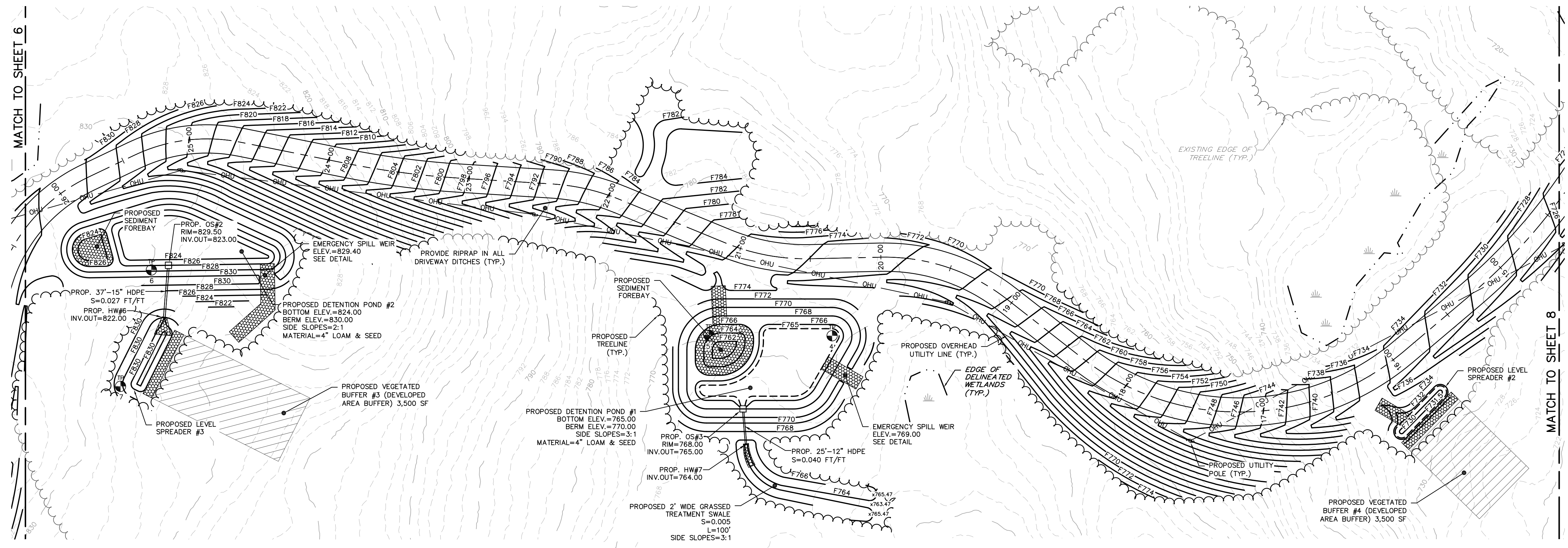
SEE SHEET 5 FOR NOTES



- LEGEND**
- PROP. UTILITY POLE
 - ABUTTER LINE
 - PROPERTY LINE
 - EDGE OF WETLANDS
 - PROP. EDGE OF PAVEMENT
 - PROP. BUILDING
 - EXIST. GRAVEL
 - PROP. GRAVEL
 - OHU PROPPOSED OVERHEAD UTILITY
 - UGU PROPPOSED UNDERGROUND UTILITY
 - STONEWALL
 - TREELINE
 - RIPRAP



THOMAS SOKOLOSKI, CERTIFIED WETLAND SCIENTIST #127, OF TES ENVIRONMENTAL CONSULTANTS, L.L.C. OF BOW, NH, PERFORMED THE WETLAND MAPPING ON OCTOBER 20, 2020 ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL, NORTHCENTRAL AND NORTHEAST REGION, VERSION 2.0, JANUARY 2012, US ARMY CORPS OF ENGINEERS.



MATCH TO SHEET 6

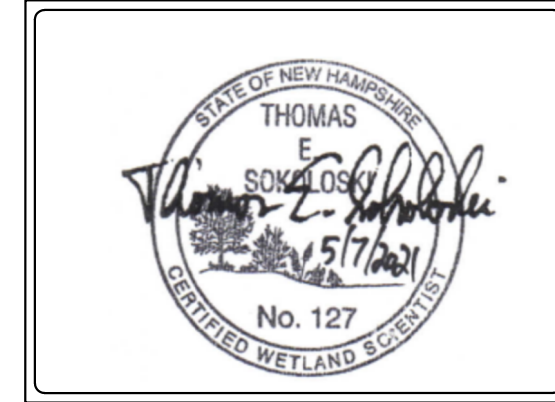
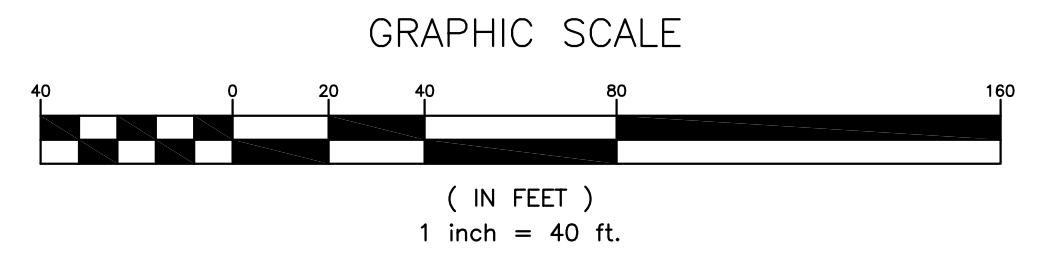
MATCH TO SHEET 8

LOAM & SEED ALL DISTURBED AREAS (TYP.)

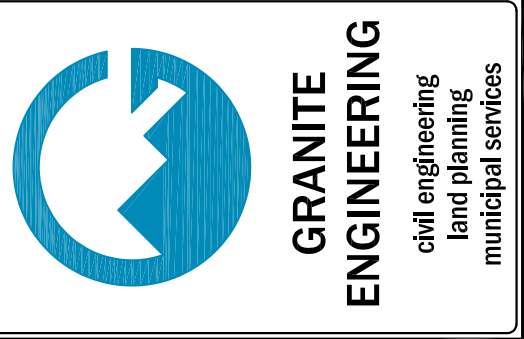
SEE SHEET 5 FOR NOTES



- LEGEND**
- PROP. UTILITY POLE
 - ABUTTER LINE
 - PROPERTY LINE
 - EDGE OF WETLANDS
 - PROP. EDGE OF PAVEMENT
 - PROP. BUILDING
 - EXIST. GRAVEL
 - PROP. GRAVEL
 - PROP. OVERHEAD UTILITY
 - STONEWALL
 - TREELINE
 - RIPRAP



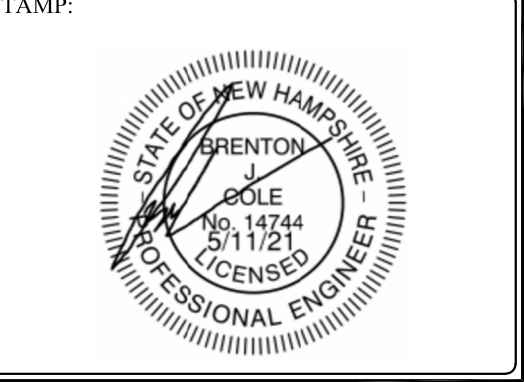
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LOCATION:
TAX MAP 1 LOTS 743 & 744-A
2226 WEARE ROAD
HENNIKER, NEW HAMPSHIRE
MERRIMACK COUNTY

PROJECT:
MOUNTAIN TOP VENUE

TITLE:
GRADING, DRAINAGE & UTILITY PLAN

PROJECT No: 20-0820-1 DATE: MAY 12, 2021 SCALE: HORIZ. 1"=40'
SHEET: 7 OF 31

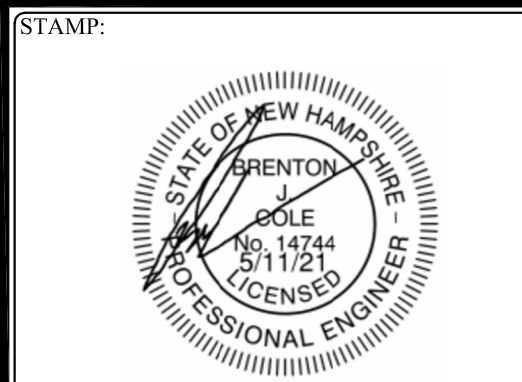
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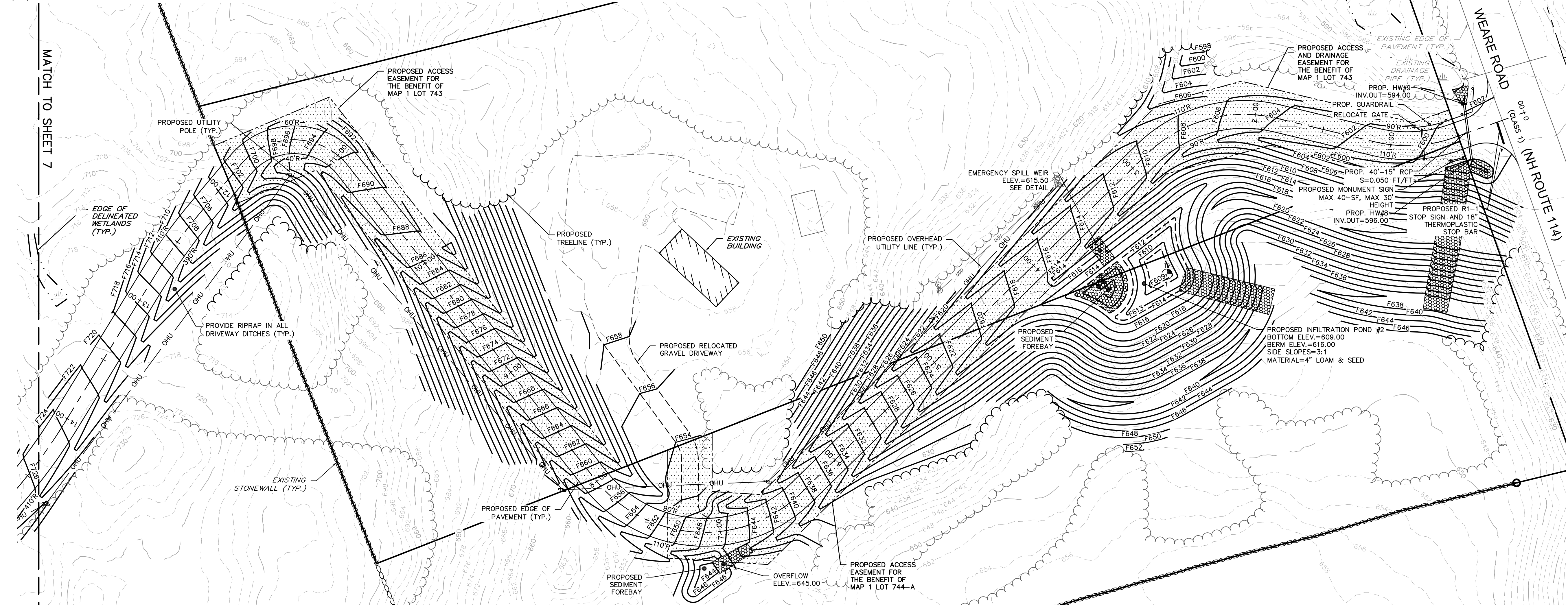
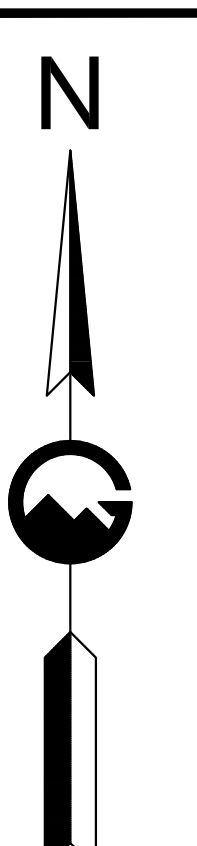


LOCATION:
TAX MAP 1 LOTS 743 & 744-A
2226 WEARE ROAD
HENNIKER, NEW HAMPSHIRE
MERRIMACK COUNTY

PROJECT:
MOUNTAIN TOP VENUE

TITLE:
GRADING, DRAINAGE & UTILITY PLAN

PROJECT No. 20-0820-1	DATE: MAY 12, 2021	SCALE: HORIZ. 1"=40'
SHEET: 8 OF 31		



MATCH TO SHEET 7

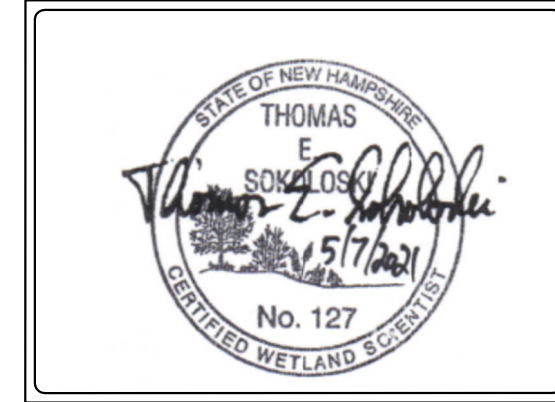
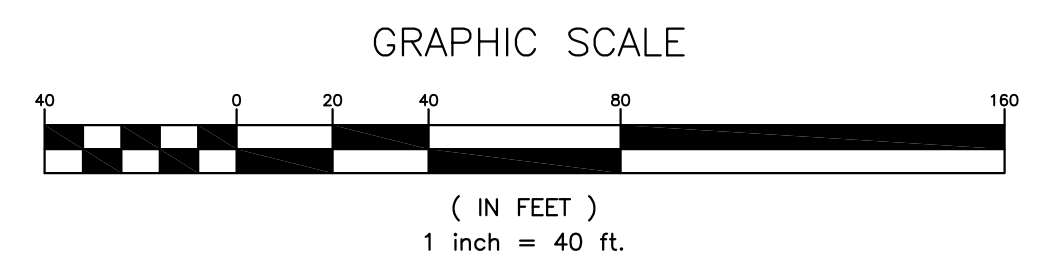
LOAM & SEED ALL DISTURBED AREAS (TYP.)

SEE SHEET 5 FOR NOTES

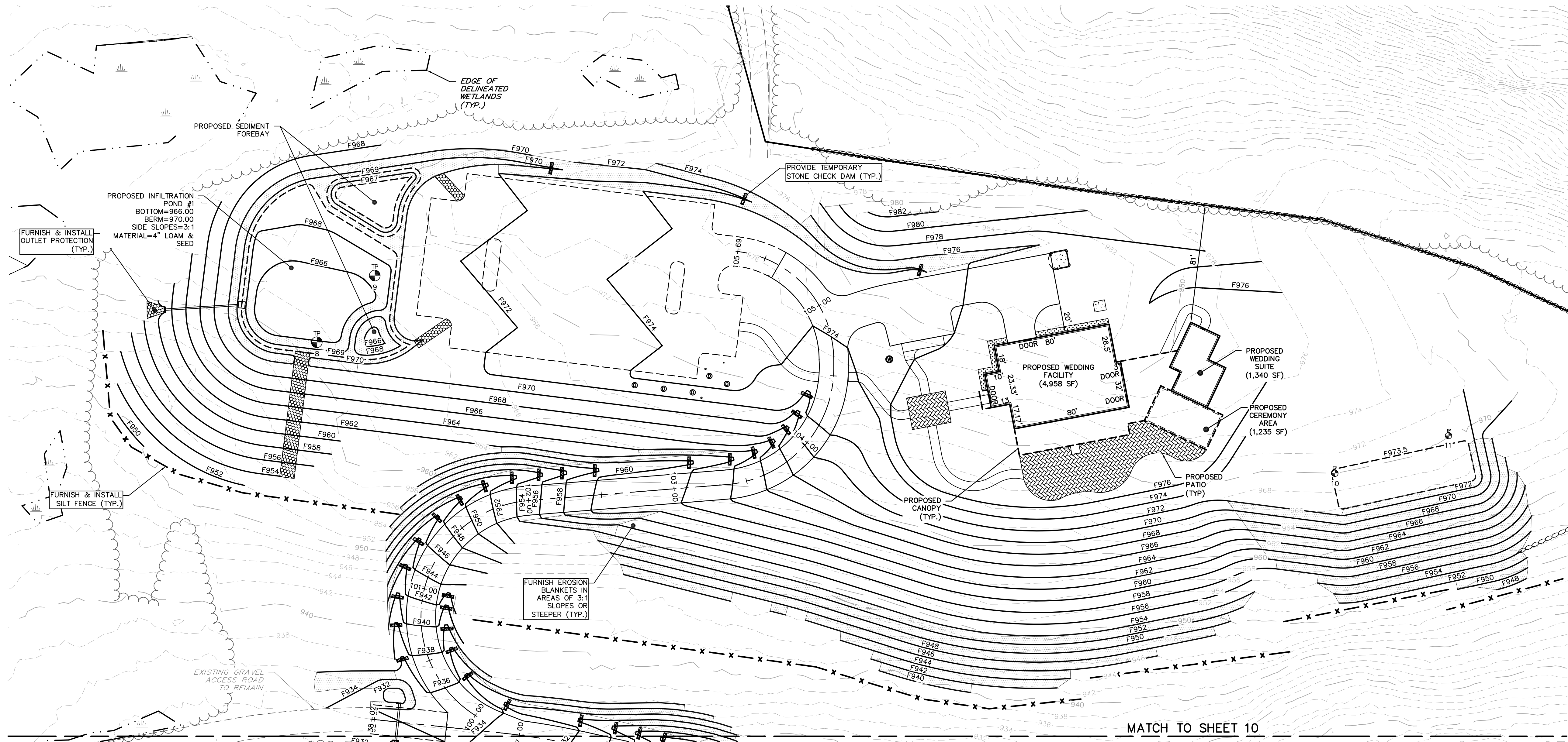
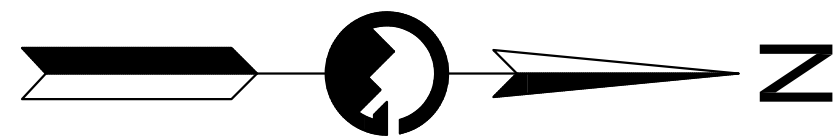


LEGEND

	PROP. UTILITY POLE
	ABUTTER LINE
	PROPERTY LINE
	EDGE OF WETLANDS
	PROP. EDGE OF PAVEMENT
	EXIST. EDGE OF PAVEMENT
	PROP. BUILDING
	EXIST. GRAVEL
	PROP. GRAVEL
	PROP. EASEMENT
	PROPOSED OVERHEAD UTILITY
	STONEWALL
	TREELINE
	RIPRAP
	EASEMENT



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EROSION CONTROL NOTES:

1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE REQUIRED ONSITE TEMPORARY CONSTRUCTION EROSION CONTROL MEASURES.
2. ALL MEASURES IN THE PLAN SHALL MEET AS A MINIMUM THE BEST MANAGEMENT PRACTICES SET FORTH IN VOLUME 3 OF THE NEW HAMPSHIRE STORMWATER MANUAL "EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION" AS PUBLISHED AND AMENDED BY THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES.
3. WHENEVER PRACTICAL, NATURAL VEGETATION SHALL BE RETAINED, PROTECTED OR SUPPLEMENTED. THE STRIPPING OF VEGETATION SHALL BE DONE IN A MANNER THAT MINIMIZES SOIL EROSION.
4. APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO LAND DISTURBANCE.
5. THE AREA OF DISTURBANCE SHALL BE KEPT TO A MINIMUM. DISTURBED AREAS REMAINING IDLE FOR MORE THAN 30 DAYS SHALL BE STABILIZED.
6. MEASURES SHALL BE TAKEN TO CONTROL EROSION WITHIN THE PROJECT AREA. SEDIMENT IN RUNOFF WATER SHALL BE TRAPPED AND RETAINED WITHIN THE PROJECT AREA USING APPROVED MEASURES.
7. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN FUNCTIONING CONDITION UNTIL FINAL SITE STABILIZATION IS ACCOMPLISHED.
8. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER FINAL SITE STABILIZATION. TRAPPED SEDIMENT AND OTHER DISTURBED SOIL AREAS RESULTING FROM THE REMOVAL OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED WITHIN 30 DAYS UNLESS CONDITIONS DICTATE OTHERWISE.
9. THE TOWN OF HENNIKER SHALL RESERVE THE RIGHT TO REQUIRE FURTHER EROSION CONTROL PRACTICES DURING CONSTRUCTION SHOULD THEY FIND IT NECESSARY.
10. THE RESPONSIBLE PARTY SHALL INSTALL, INSPECT, REPORT, OPERATE, AND MAINTAIN ALL STORMWATER MANAGEMENT AND EROSION CONTROL MEASURES REQUIRED BY THESE PLANS.
11. TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH PROJECT PLANS. IN ADDITION, SIMILAR MEASURES SHALL BE INSTALLED WHERE AND WHEN THE FIELD CONDITION OR FIELD OPERATION OF THE INDIVIDUAL SITE CONTRACTOR MAY WARRANT.
12. ALL DISTURBED AREAS DESIGNATED TO BE TURF, SHALL RECEIVE A MINIMUM APPLICATION OF 4 INCHES OF LOAM (COMPACTED THICKNESS), PRIOR TO FINAL SEEDING AND MULCHING.
13. IN THE EVENT THAT DURING CONSTRUCTION OF ANY PORTION OF THIS PROJECT, A WINTER SHUTDOWN IS NECESSARY, THE CONTRACTOR SHALL STABILIZE ALL INCOMPLETE WORK AND PROVIDE FOR SUITABLE METHODS OF DIVERTING RUNOFF IN ORDER TO ELIMINATE SHEET FLOW ACROSS FROZEN SURFACES.
14. DUST SHALL BE CONTROLLED BY THE USE OF WATER AS NECESSARY

THROUGHOUT THE CONSTRUCTION PERIOD, IN ACCORDANCE WITH ENV-A 1000.

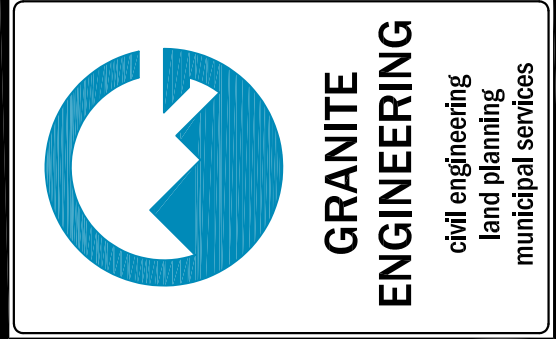
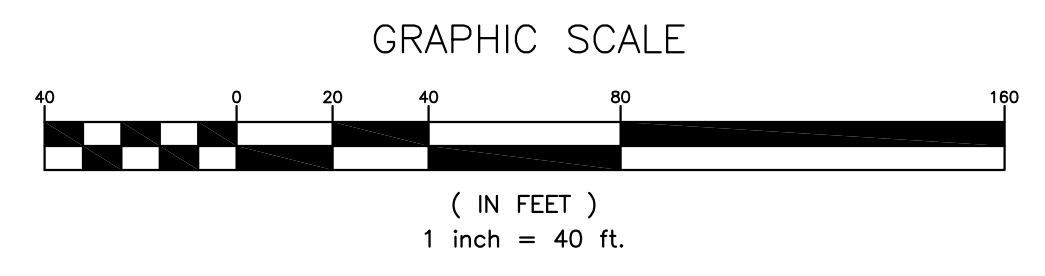
15. IN NO WAY ARE THOSE TEMPORARY EROSION CONTROL MEASURES INDICATED ON THESE PLANS TO BE CONSIDERED ALL INCLUSIVE. THE CONTRACTOR SHALL USE JUDGEMENT IN INSTALLING SUPPLEMENTARY EROSION CONTROL MEASURES WHERE AND WHEN SPECIFIC SITE CONDITIONS AND/OR CONSTRUCTION METHODOLOGIES MAY WARRANT.
16. GRADED AREAS SHALL BE VEGETATED TO INSURE EROSION CONTROL BY SEEDING, MULCHING, AND FERTILIZING. DISTURBED AREAS SHALL BE PLANTED WITH SUITABLE PLANT MATERIALS.
17. GRADING SHALL NOT EXCEED A RATIO OF 3 HORIZONTAL TO 1 VERTICAL WITHOUT SPECIAL EROSION CONTROL MEASURES. NETTING OR SIMILAR MATERIAL SHALL BE PROVIDED ON SLOPES WITH A RATIO GREATER THAN 3:1 WHILE GROUND COVER IS BEING ESTABLISHED.

LOAM & SEED ALL DISTURBED AREAS (TYP.)



- LEGEND**
- BUTTER LINE
 - PROPERTY LINE
 - - - - - EDGE OF WETLANDS
 - PROP. EDGE OF PAVEMENT
 - PROP. BUILDING
 - EXIST. GRAVEL
 - PROP. GRAVEL
 - STONEWALL
 - TREELINE
 - RIPRAP

- EROSION & SEDIMENT CONTROL LEGEND**
- x - x - SILT SOXX
 - [Pattern] EROSION BLANKET
 - [Pattern] PERMANENT RIP RAP OUTLET PROTECTION
 - [Pattern] LIMITS OF CLEARING
 - [Pattern] TEMPORARY STONE CHECK DAM



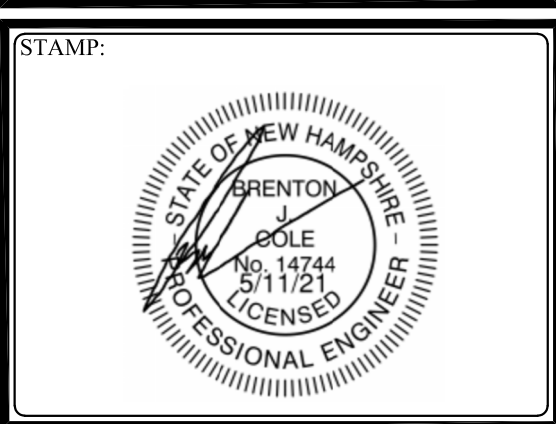
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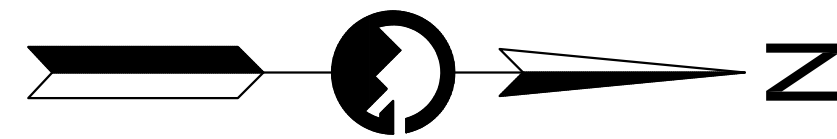


LOCATION:
TAX MAP 1 LOTS 743 & 744-A
2226 WEARE ROAD
HENNIKER, NEW HAMPSHIRE
MERRIMACK COUNTY

PROJECT:
MOUNTAIN TOP VENUE

TITLE:
EROSION CONTROL PLAN

PROJECT No. 20-0820-1 DATE: MAY 12, 2021 SCALE: HORIZ. 1"=40'
SHEET: 9 OF 31

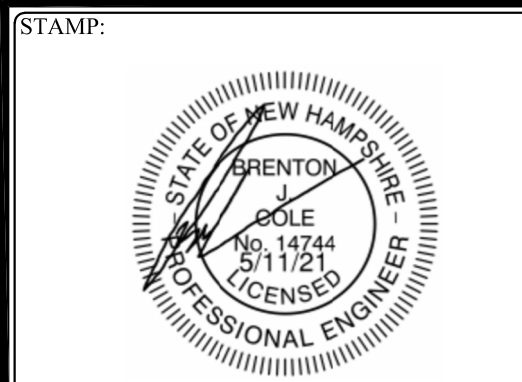


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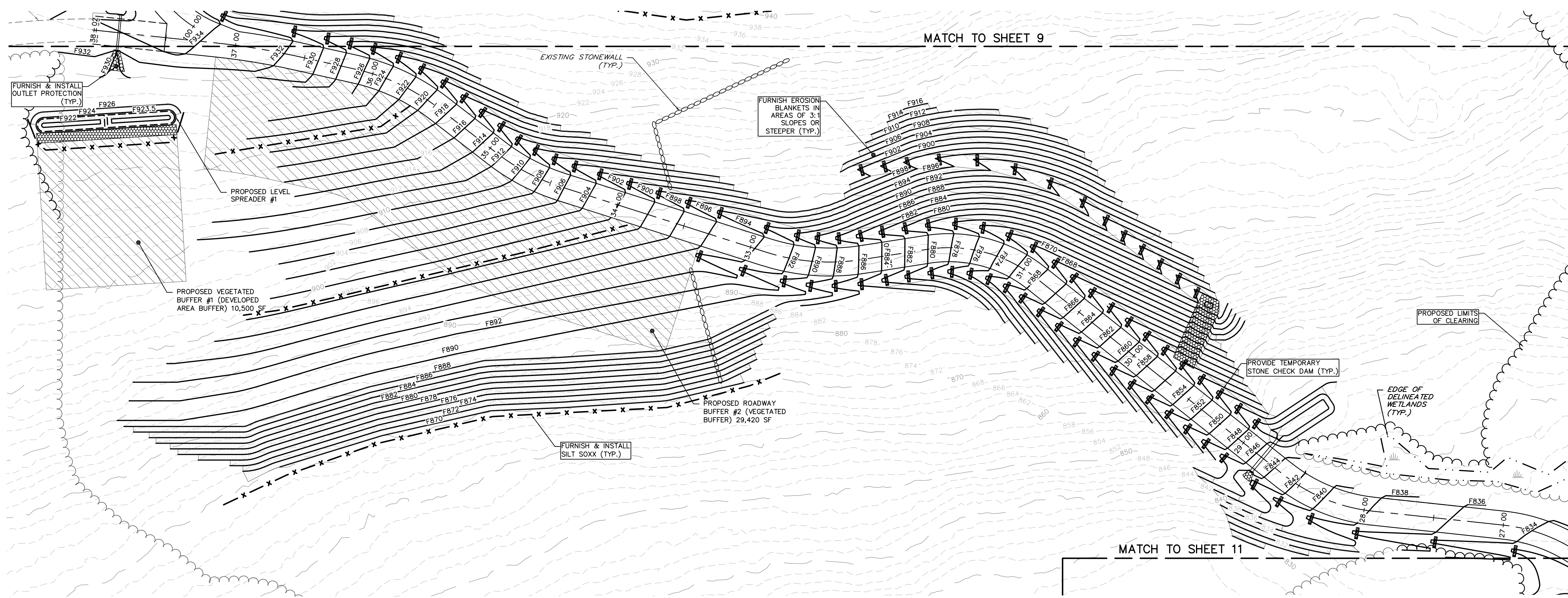


LOCATION:
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MERRIMACK COUNTY

PROJECT:
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TITLE:
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PROJECT No. 20-0820-1	DATE: MAY 12, 2021	SCALE: HORIZ. 1"=40'
SHEET: 10 OF 31		



LOAM & SEED ALL DISTURBED AREAS (TYP.)

SEE SHEET 9 FOR NOTES

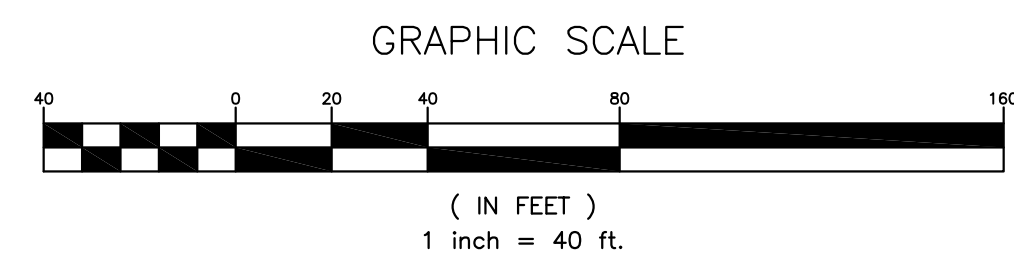


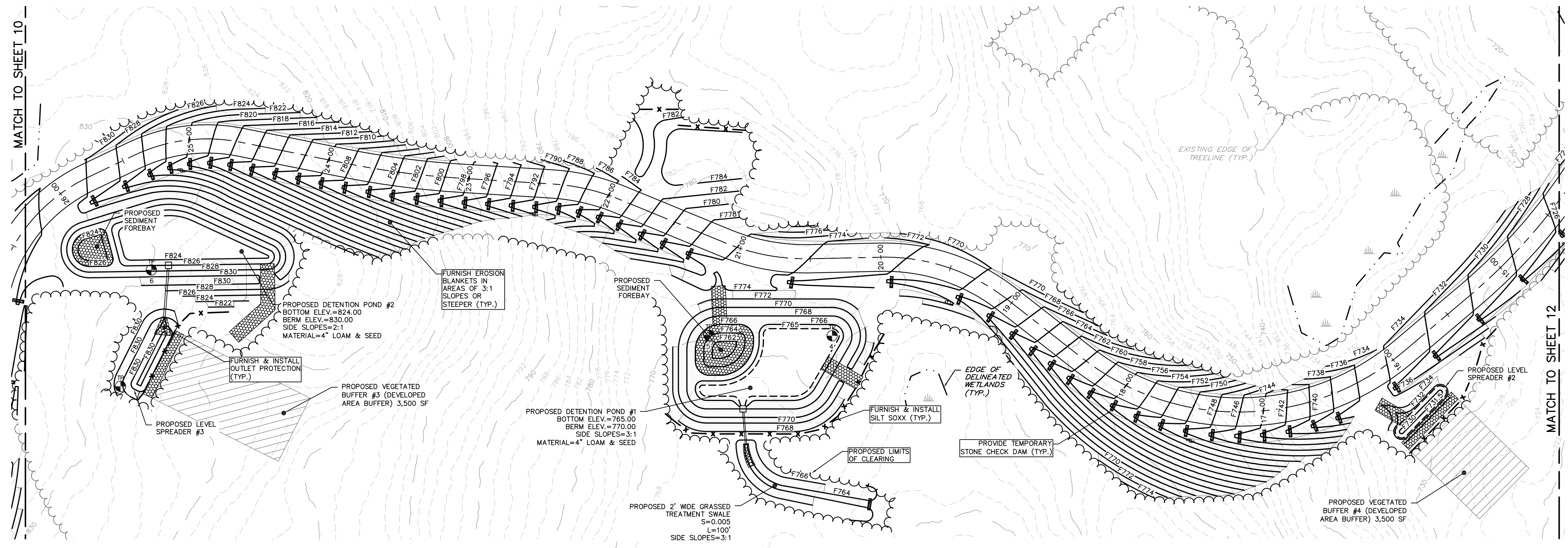
EROSION & SEDIMENT CONTROL LEGEND

- x - x -	SILT SOXX
[Stippled Box]	EROSION BLANKET
[Riprap Pattern Box]	PERMANENT RIP RAP OUTLET PROTECTION
[Wavy Line]	LIMITS OF CLEARING
[Rectangular Box]	TEMPORARY STONE CHECK DAM

LEGEND

[Dashed Line]	ABUTTER LINE
[Solid Line]	PROPERTY LINE
[Dotted Line]	EDGE OF WETLANDS
[Dashed Line]	PROP. EDGE OF PAVEMENT
[Solid Line]	PROP. BUILDING
[Dashed Line]	EXIST. GRAVEL
[Dashed Line]	PROP. GRAVEL
[Chain Link Pattern]	STONEWALL
[Wavy Line]	TREELINE
[Riprap Pattern]	RIPRAP



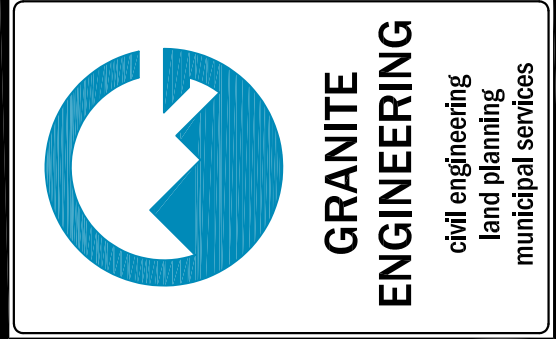
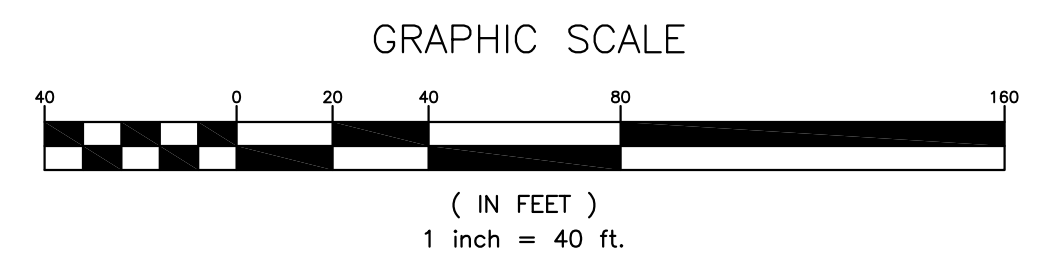
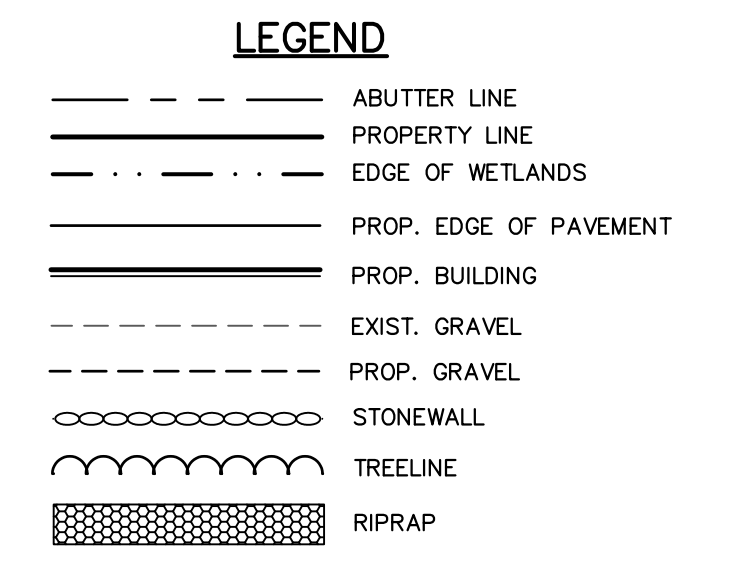
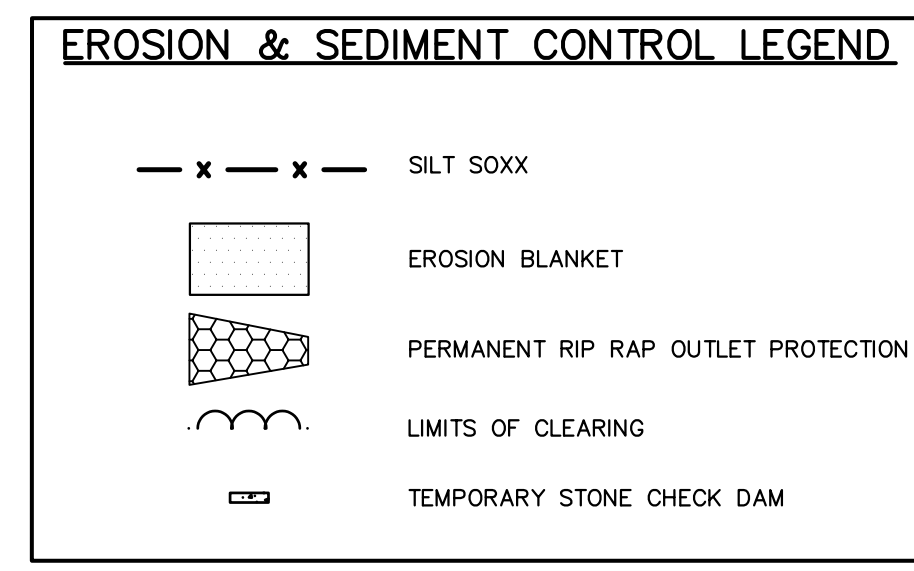
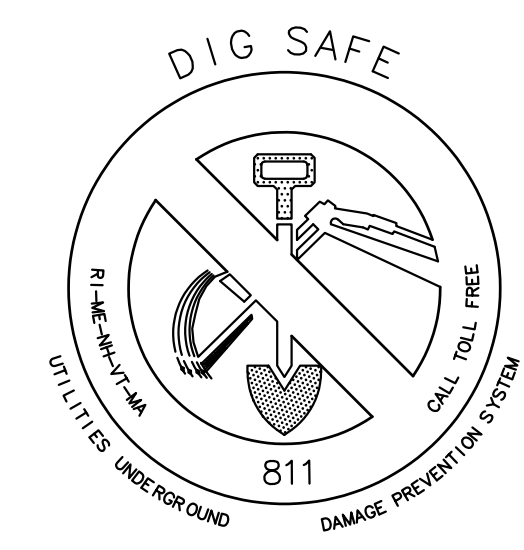


MATCH TO SHEET 10

MATCH TO SHEET 12

LOAM & SEED ALL DISTURBED AREAS (TYP.)

SEE SHEET 9 FOR NOTES

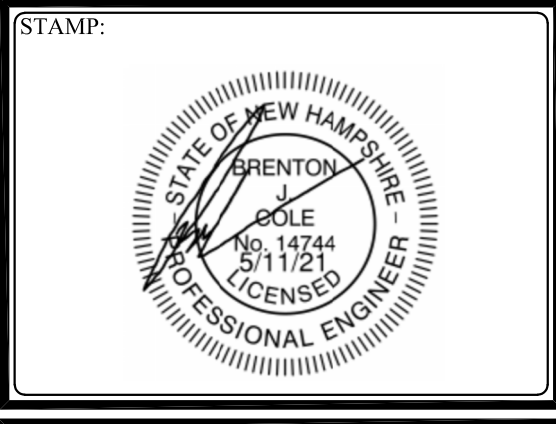


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LOCATION:
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MERRIMACK COUNTY

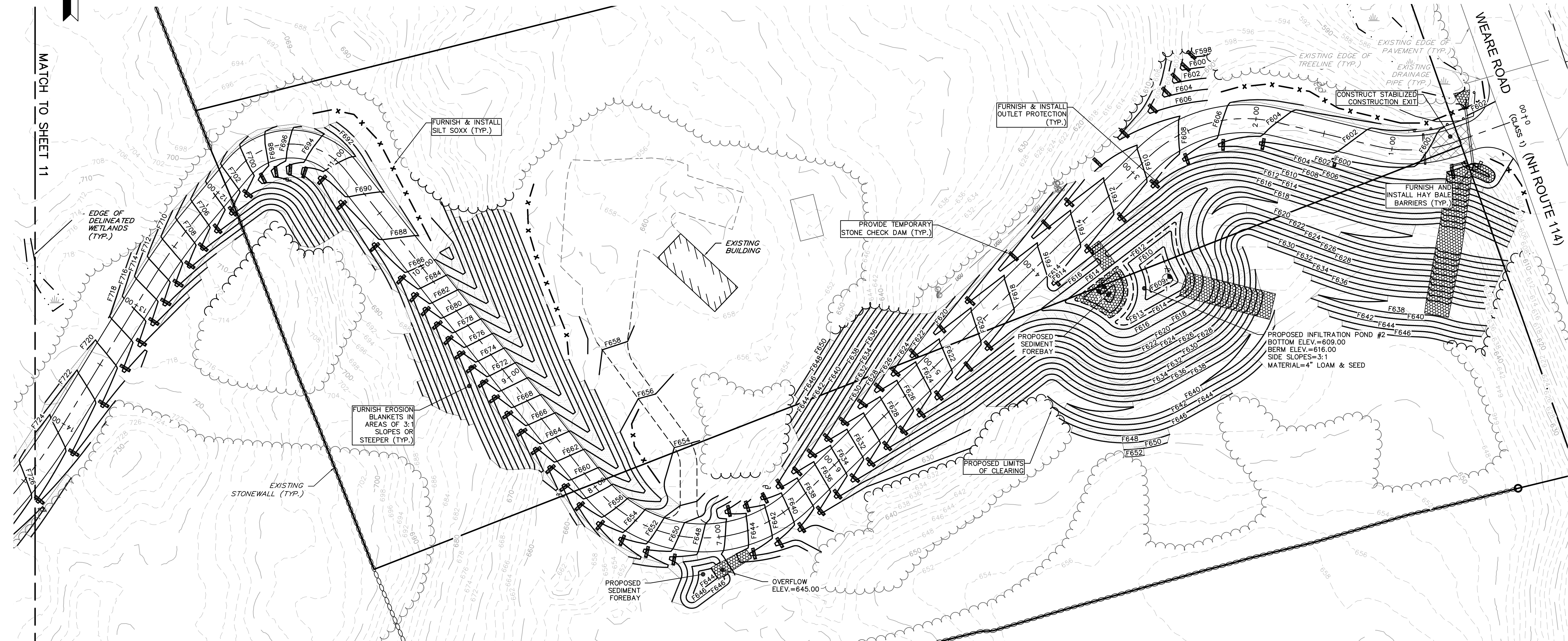
PROJECT:
MOUNTAIN TOP VENUE

TITLE:
EROSION CONTROL PLAN

PROJECT No. 20-0820-1 DATE: MAY 12, 2021 SCALE: 1"=40'
SHEET: 11 OF 31

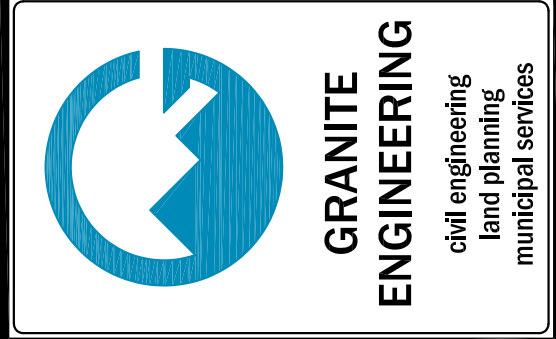
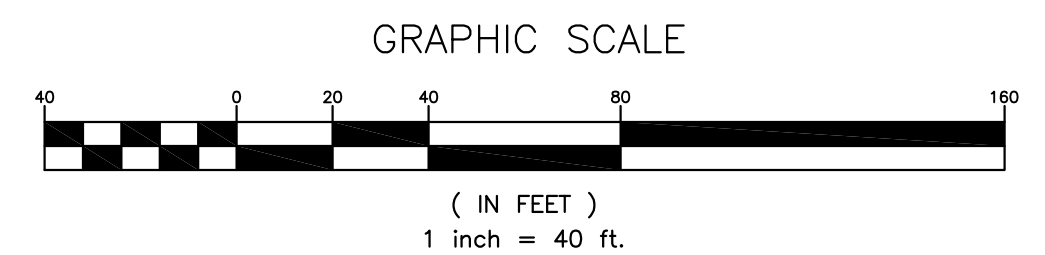
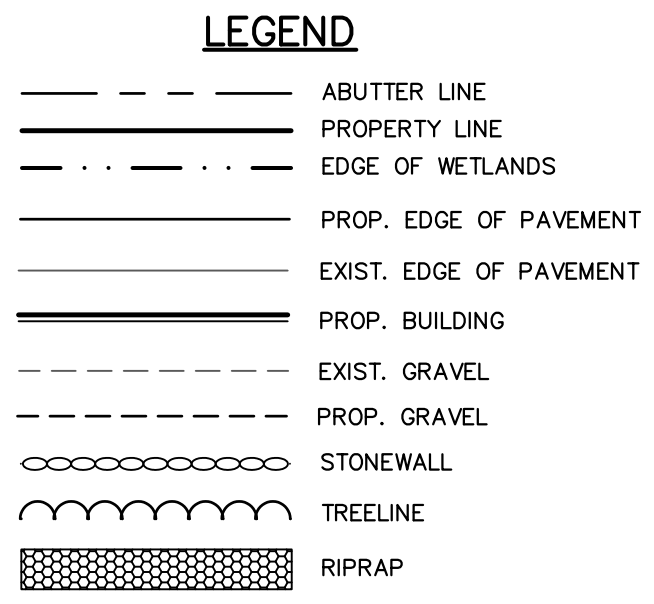
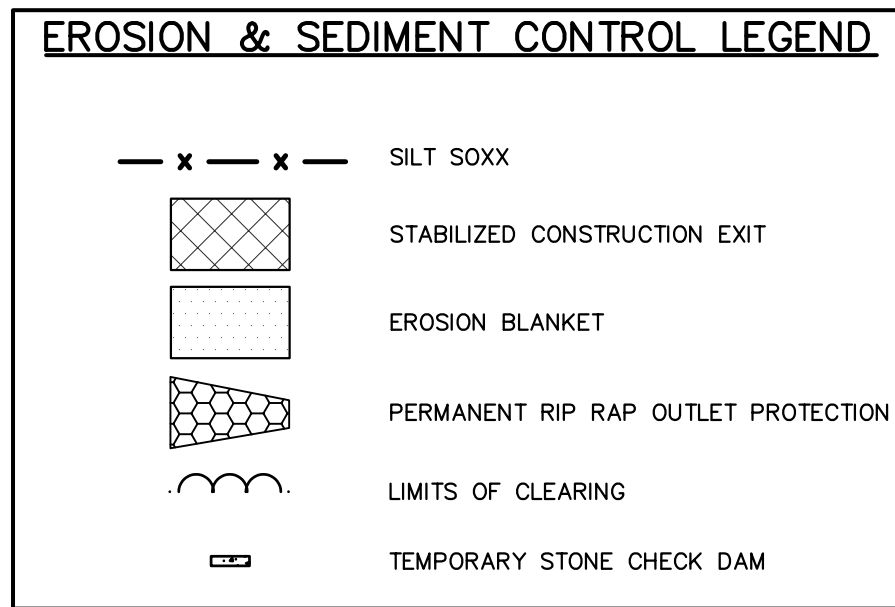


MATCH TO SHEET 11



LOAM & SEED ALL DISTURBED AREAS (TYP.)

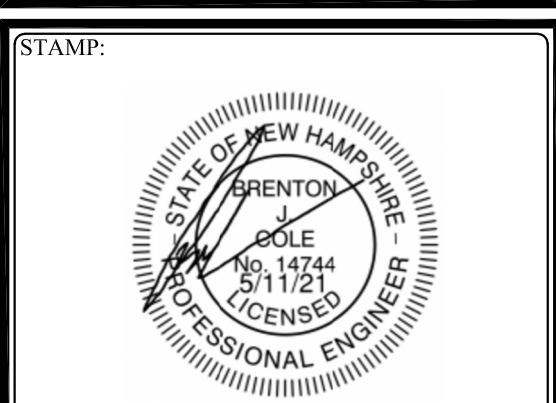
SEE SHEET 9 FOR NOTES



NO.	DATE	COMMENTS
0	05/12/2021	PROJECT SUBMITTAL

OWNER/APPLICANT:
BIG WHITE DOG, LLC
155 GROVE STREET
WESTWOOD, MA 02090

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Manchester, New Hampshire 03101
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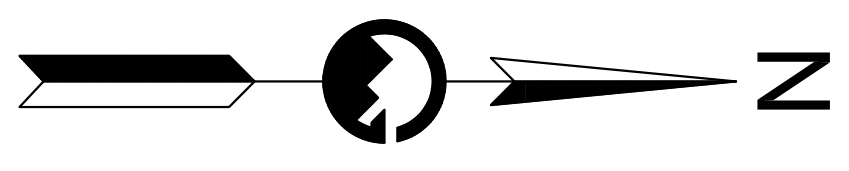


LOCATION:
TAX MAP 1 LOTS 743 & 744-A
2226 WEARE ROAD
HENNIKER, NEW HAMPSHIRE
MERRIMACK COUNTY

PROJECT:
MOUNTAIN TOP VENUE

TITLE:
EROSION CONTROL PLAN

PROJECT No: 20-0820-1 DATE: MAY 12, 2021 SCALE: 1"=40'
SHEET: 12 OF 31



DESIGN INTENT:

THE BOTTOM OF THE BED SHALL BE CONSTRUCTED AT 970.50 ELEVATION. THE ELEVATION OF THE HIGH CONTOUR OF THE DESIGNED BED (ELEV 970) IS APPROXIMATELY 0.50 FT. ABOVE EXISTING GROUND LEVEL. NO EXISTING WAS OBSERVED, ESHWT AT 24".

DESIGN CRITERIA:

PROPOSED USE: WEDDING VENUE (FUNCTION ROOM) WITH NO FOOD PREPARATION.
 PROPOSED FLOW: 170 GUESTS
 PROPOSED FLOW = 170 GUESTS*(12 GPD/GUEST) + 10 EMPLOYEES*(20 GPD/EMPLOYEE)
 TOTAL PROPOSED FLOW = 2,240 GPD
 PERC. RATE = 10 MIN/INCH

REQUIRED LEACHING AREA USING PRESBY ENVIRO-SEPTIC PIPE
 REQUIRED LENGTH OF PIPE: 1,344 LF
 PROVIDED LENGTH OF PIPE: 15 X 90 LF = 1,350 LF

REQUIRED SEPTIC TANK CAPACITY
 REQUIRED CAPACITY: 2,000 GALLON + 0.7*(DAILY FLOW)
 TOTAL REQUIRED CAPACITY: 2,000 GALLONS + 0.7*(2,240) = 3,568 GALLONS

PROVIDED SEPTIC TANK CAPACITY
 PROVIDED CAPACITY = 4,000 GALLON TANK

GENERAL NOTES:

- THE PURPOSE OF THIS PLAN IS TO ILLUSTRATE A SEPTIC DESIGN FOR THE PROPERTY LOCATED
- THIS PARCEL IS LOCATED 2226 WEARE RD, HENNIKER, NH
 OWNER OF RECORD: BIG WHITE DOG, LLC
 MAILING ADDRESS: 155 GROVE STREET, WESTWOOD, MA 02092
 ZONING DISTRICT: COMMERCIAL RECREATIONAL-1 (CR-1)
 BOOK/PAGE: MCRD BK. 3688 PG. 919
 AREA OF PARCEL: 179.46 ACRES.
- SUBJECT PARCEL WILL BE SERVICED BY PRIVATE WELL AND ONSITE PRIVATE SEPTIC SYSTEM.
- ALL CONNECTIONS BETWEEN SEPTIC TANKS AND PIPES SHALL BE PROPERLY SEALED WITH WATERTIGHT, FLEXIBLE JOINT CONNECTOR.
- DISTANCES TO NEAREST FEATURES:
 WELLS: > 100 FEET
 LEDGE: > 75 FEET
 OPEN WATERWAYS: > 75 FEET
 POORLY DRAINED SOILS: > 50 FEET
 VERY POORLY DRAINED SOILS: > 75 FEET
 KNOWN BURIAL SITES: > 100 FEET
- WETLANDS BOUNDARIES ON THIS PLAN WERE DELINEATED ON OCTOBER 20, 2020, BY THOMAS E. SOKOLOSKI OF TES ENVIRONMENTAL CONSULTANTS, LLC; IN ACCORDANCE WITH THE TECHNIQUES OUTLINED IN THE CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, TECHNICAL REPORT Y-87-1, JANUARY 1987.
- SYSTEM TO BE REPLACED IN KIND IF/WHEN NEEDED.
- PER U.S.D.A. S.C.S. SOIL SURVEY MAP, THE RECEIVING AREA CONSISTS OF THE FOLLOWING:
 77C MARLOW FINE SANDY LOAM, 8-15%
- SYSTEM IS NOT DESIGNED FOR USE OF A GARBAGE DISPOSAL.
- SYSTEM IS NOT DESIGNED FOR USE OF A WATER CONDITIONING SYSTEM OR THE DISPOSAL OF HAZARDOUS WASTE.
- GREASE AND BULKY WASTES SHALL NOT BE DISPOSED OF IN THIS SYSTEM TO PREVENT OBSTRUCTIONS OF THE DISTRIBUTION LINES AND LEACH FIELD.
- TOXIC OR HAZARDOUS MATERIALS SHALL NOT BE DISPOSED OF IN THIS SYSTEM.
- THIS SYSTEM IS NOT DESIGNED FOR H-20 LOADING.

SEPTIC LOADING CALCULATIONS:

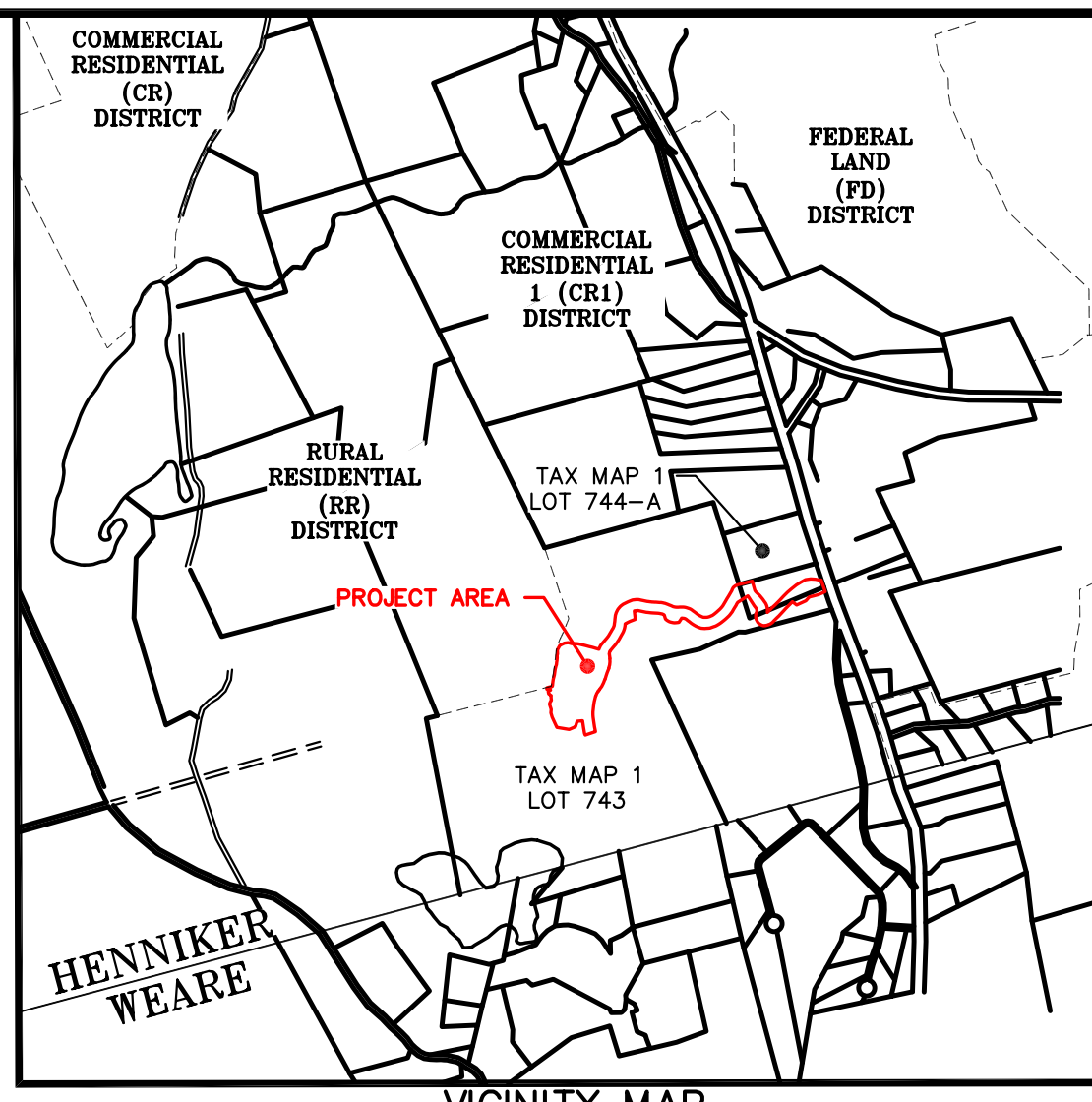
1. SUBJECT PROPERTY IS EXTREMELY LARGE IN LAND AREA. FOR LOT LOADING CALCULATIONS, ONE SOIL TYPE (MARLOW FINE SANDY LOAM) WAS SELECTED TO DEMONSTRATE THE ADEQUACY OF THE LOT TO SUPPORT THE PROPOSED DESIGN FLOW. LOADING CAPACITY OF THE LOT BASED ON ALL SOIL TYPES IS SIGNIFICANTLY GREATER.
 SOIL TYPE: MARLOW FINE SANDY LOAM, 8-15% SLOPES, HYDROLOGIC GROUP C
 TOTAL DAILY FLOW = 2,240 GPD
 REQUIRED SOIL AREA = (2,240 GPD / (2000 GPD/AC))* 1.76 = 1.97 AC
 AVAILABLE SOIL AREA = 9.19 AC > REQUIRED SOIL AREA

LEGEND

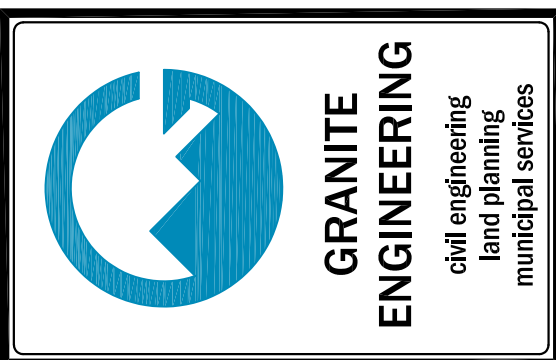
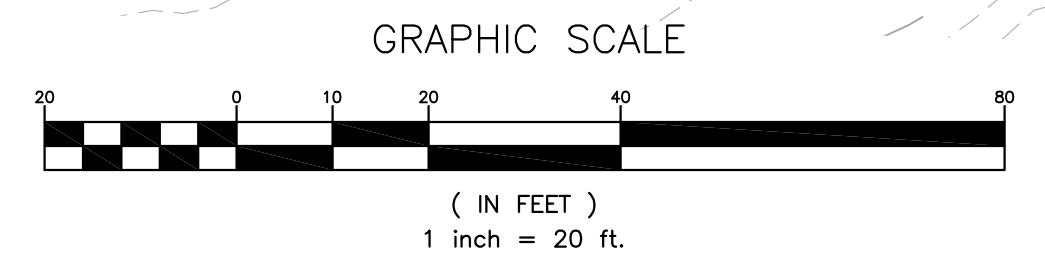
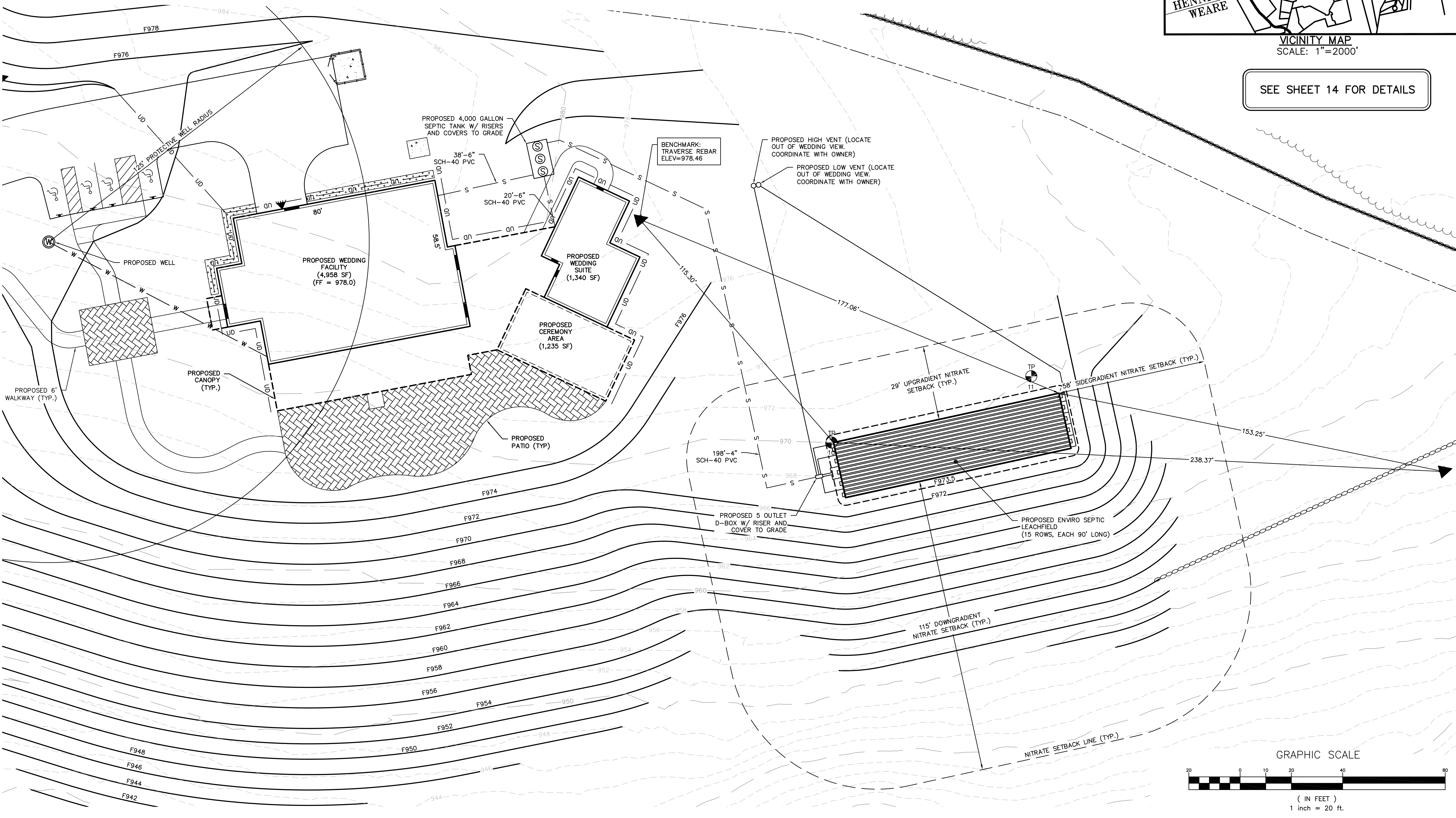
- PROPERTY LINE
- - - MINIMUM BUILDING SETBACK LINE
- - - EXIST. EDGE OF PAVEMENT
- ▬ PROP. BUILDING
- - - PROP. GRAVEL
- ▬ STONEWALL
- TREELINE
- TEST PIT
- S — SEPTIC LINE

OPERATING REQUIREMENTS:

- SEPTIC TANKS SHALL BE INSPECTED FOR ACCUMULATION OF SLUDGE AND SURFACE SCUM AT A FREQUENCY SUFFICIENT TO ALLOW THE TANK TO BE PUMPED BY A LICENSED SEPTAGE HAULER WHEN THE COMBINED THICKNESS OF THE SLUDGE AND SURFACE SCUM EQUAL 1/3 OR MORE OF THE TANK DEPTH.
- FOR ANY SEPTIC TANK HAVING CAST-IN CONCRETE BAFFLES, THE BAFFLES SHALL BE INSPECTED FOR STRUCTURAL INTEGRITY WHEN THE TANK IS INSPECTED PURSUANT TO (1), ABOVE AND REPLACED IF NO LONGER FUNCTIONING AS REQUIRED.
- SEPTAGE AND EFFLUENT SHALL BE DISCHARGED FROM A SEPTIC TANK ONLY TO AN APPROVED OR GRANDFATHERED EFFLUENT DISPOSAL AREA; OR A LICENSED SEPTAGE HAULING VEHICLE.
- TO PREVENT OBSTRUCTION OF THE DISTRIBUTION LINES AND EFFLUENT CONDUITS, GREASE SHALL NOT BE FLUSHED OR OTHERWISE INTRODUCED INTO AN ISDS THAT DOES NOT HAVE A GRAVITY GREASE INTERCEPTOR AND BULKY WASTES SHALL NOT BE FLUSHED OR OTHERWISE INTRODUCED INTO AN ISDS.
- TOXIC AND HAZARDOUS MATERIALS SHALL NOT BE FLUSHED OR OTHERWISE INTRODUCED INTO AN ISDS.
- TO PREVENT DAMAGE TO THE DISTRIBUTION LINES AND EFFLUENT DISPOSAL AREA, VEHICLES, LIVESTOCK AND OTHER HEAVY OBJECTS SHALL NOT BE ALLOWED ON THE EFFLUENT DISPOSAL AREA.
- IF WET AREAS APPEAR ON THE GROUND SURFACE ABOVE THE SEPTIC TANK, DISTRIBUTION LINES, OR EFFLUENT DISPOSAL AREA OR IF DISAGREEABLE ODORS OCCUR, THE OWNER OF THE ISDS SHALL INSPECT THE SYSTEM OR HAVE THE SYSTEM INSPECTED BY A PERMITTED DESIGNER OR PERMITTED INSTALLER TO DETERMINE THE SOURCE OF THE PROBLEM(S) AND TAKE ACTION TO CORRECT THE PROBLEM(S).



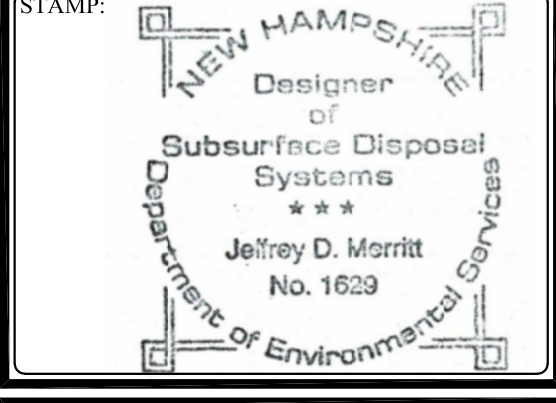
SEE SHEET 14 FOR DETAILS



NO.	DATE	REVISIONS
0	05/12/2021	PROJECT SUBMITTAL

OWNER/APPLICANT:
 BIG WHITE DOG, LLC
 155 GROVE STREET
 WESTWOOD, MA 02090

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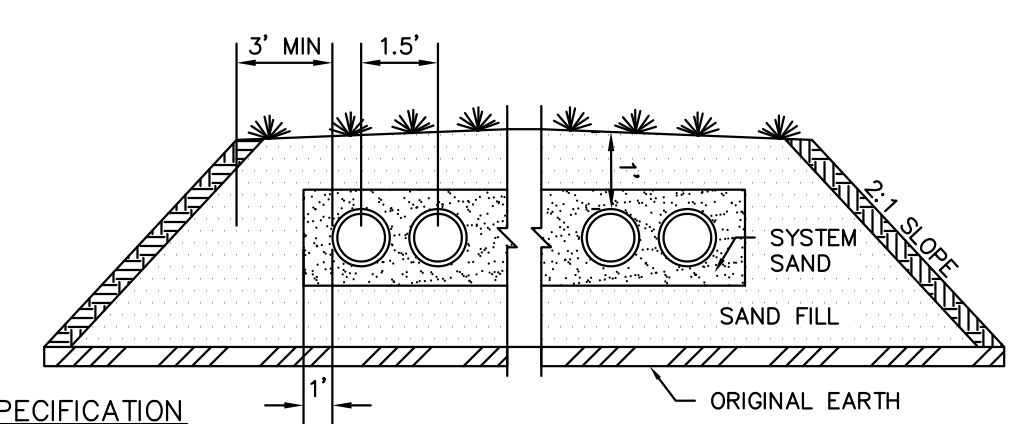


LOCATION:
 TAX MAP 1 LOTS 743 & 744-A
 2226 WEARE ROAD
 HENNIKER, NEW HAMPSHIRE
 MERRIMACK COUNTY

PROJECT:
MOUNTAIN TOP VENUE

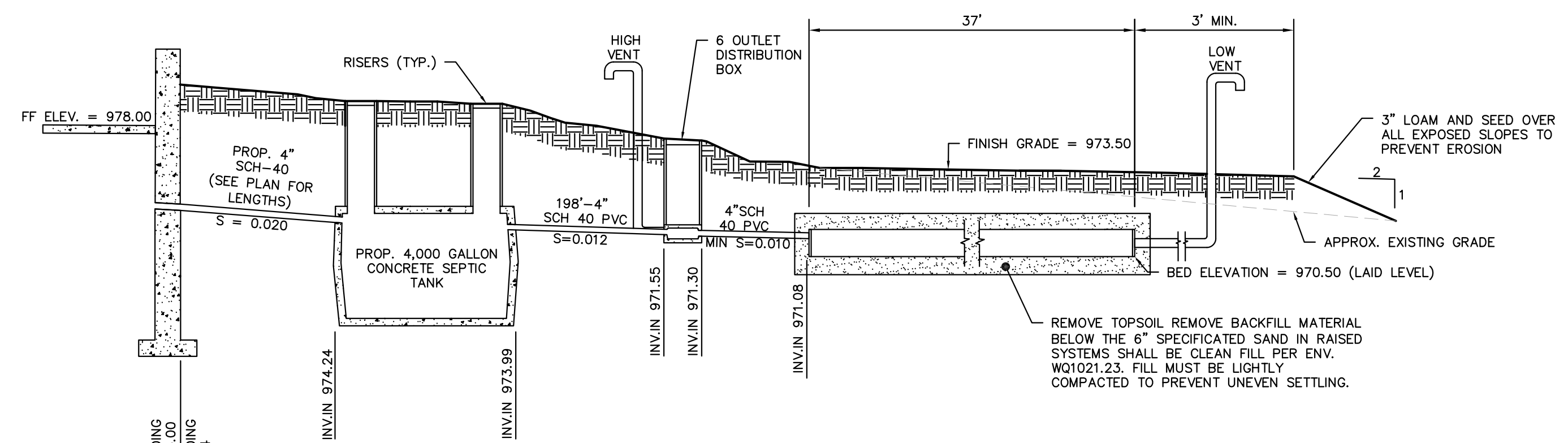
TITLE:
SEPTIC PLAN

PROJECT No: 20-0820-1 DATE: MAY 12, 2021 SCALE: HORIZ. 1"=20'
 SHEET: 13 OF 31



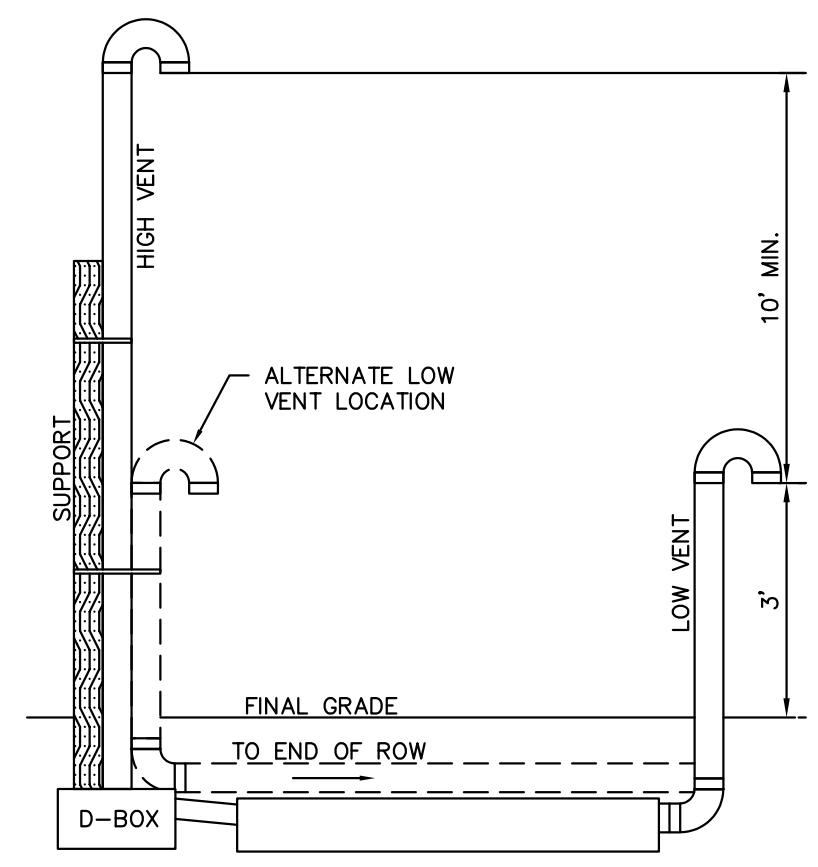
FILL SPECIFICATION
SYSTEM SAND TO BE 6" MINIMUM OF MEDIUM TO COARSE GRAVELLY SAND WITH AN EFFECTIVE PARTICLE SIZE OF 0.25 MM TO 2.00 MM WITH NO GREATER THAN 2% PASSING A #200 SIEVE AND NO PARTICLES LARGER THAN 3/4" AROUND THE CIRCUMFERENCE OF THE ENVIRO-SEPTIC PIPE (SEE THE LATEST EDITION OF THE "DESIGN AND INSTALLATION MANUAL FOR ADVANCED ENVIRO-SEPTIC AND ENVIRO-SEPTIC WASTEWATER TREATMENT SYSTEMS" FOR DETAILED SAND AND FILL REQUIREMENTS). ALL OTHER FILL USED IN RAISED SYSTEMS SHALL BE CLEAN BANK RUN SAND, FREE FROM TOPSOIL, HUMUS, DREDGING, DEBRIS, OR STONES LARGER THAN 6" IN ANY DIMENSION IN ACCORDANCE WITH ENV-WQ 1021.03

TYPICAL "ENVIRO-SEPTIC" CROSS SECTION NOT TO SCALE

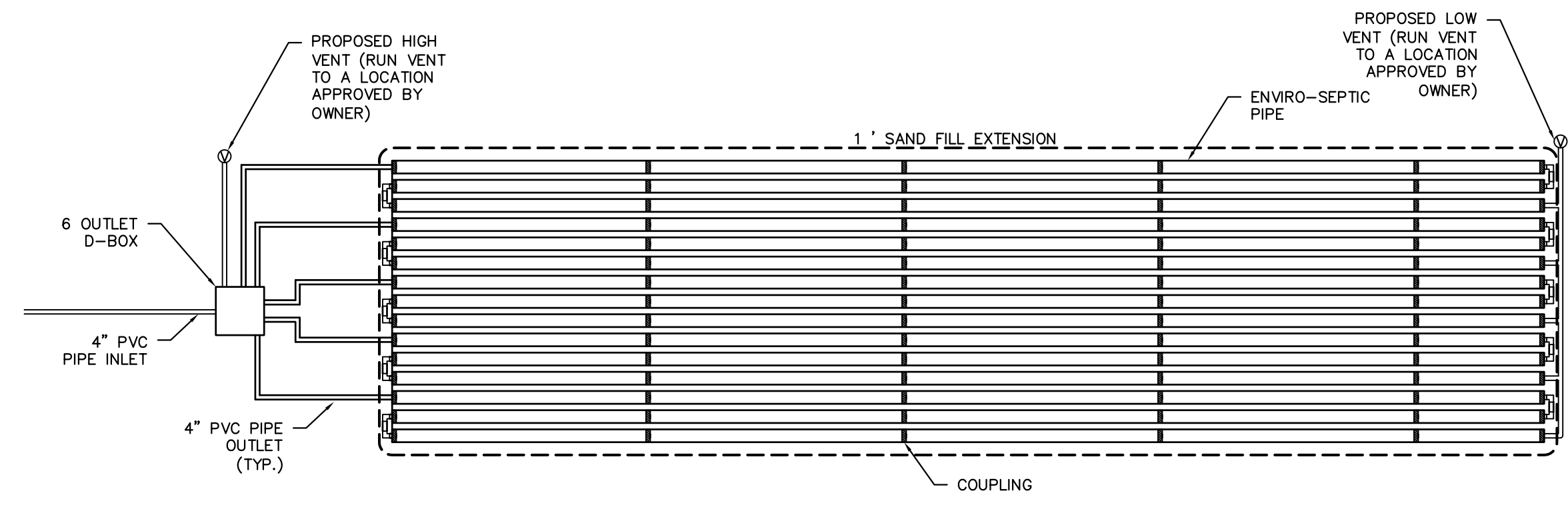


- NOTES:**
- SEPTIC TANK, DISTRIBUTION BOX, AND ENVIRO-SEPTIC COMPONENTS TO BE SUPPLIED BY SHEA CONCRETE, OR EQUIVALENT. SEPTIC TANK TO COMPLY WITH ALL ENV-WQ 1010 SPECIFICATIONS.
 - ENVIRO-SEPTIC LEACHING SYSTEM TO BE INSTALLED IN COMPLIANCE WITH THE LATEST EDITION OF THE PRESBY WASTEWATER TREATMENT SYSTEM - NEW HAMPSHIRE DESIGN AND INSTALLATION MANUAL FOR ADVANCED ENVIRO-SEPTIC® AND ENVIRO-SEPTIC® WASTEWATER TREATMENT SYSTEMS.

SEPTIC SYSTEM CROSS SECTION NOT TO SCALE



DIFFERENTIAL VENTING DETAIL NOT TO SCALE



LEACH FIELD PLAN VIEW SCALE: 1" = 10'

	TP #10		TP #11	
LOGGED BY JSJ DATE: 3/4/21 EST. RATE: 10 MIN/INCH IMPERVIOUS: NONE WATER: NONE ESHWT: 24"	FINE SANDY LOAM, MASSIVE 10YR3/1	0'-1"	FINE SANDY LOAM, MASSIVE 10YR3/1	0'-2"
	FINE LOAMY SAND, WEAK SUB-ANGULAR BLOCKY, FRIABLE, 10YR6/6 & 10YR 5/4	1'-24"	FINE LOAMY SAND, WEAK SUB-ANGULAR BLOCKY, FRIABLE, 10YR6/6 & 10YR 5/4	2'-24"
	FINE SANDY LOAM, ANGULAR BLOCKY, VERY FIRM, 30% COBBLES AND STONES THROUGHOUT 5Y5/3 & 5Y5/4 5YR4/6 CONC. 2.5Y5/2 DEPLETIONS	2'-78"	FINE SANDY LOAM, ANGULAR BLOCKY, VERY FIRM, 30% COBBLES AND STONES THROUGHOUT 5Y5/3 & 5Y5/4 5YR4/6 CONC. 2.5Y5/2 DEPLETIONS	2'-72"
	BOTTOM OF HOLE	6'-0"	BOTTOM OF HOLE	6'-0"

TEST PIT LOGS NOT TO SCALE

NO.	DATE	REVISIONS
0	05/12/2021	PROJECT SUBMITTAL

OWNER/APPLICANT:
BIG WHITE DOG, LLC
155 GROVE STREET
WESTWOOD, MA 02090

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Manchester, New Hampshire 03101
603.518.8030
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STAMP: NEW HAMPSHIRE
Designer of
Subsurface Disposal Systems

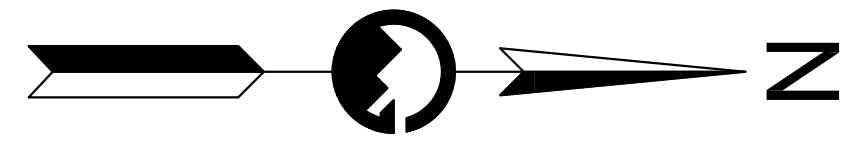
Jeffrey D. Morrill
No. 1629
Department of Environmental Services

LOCATION:
TAX MAP 1 LOTS 743 & 744-A
2226 WEARE ROAD
HENNIKER, NEW HAMPSHIRE
MERRIMACK COUNTY

PROJECT:
MOUNTAIN TOP VENUE

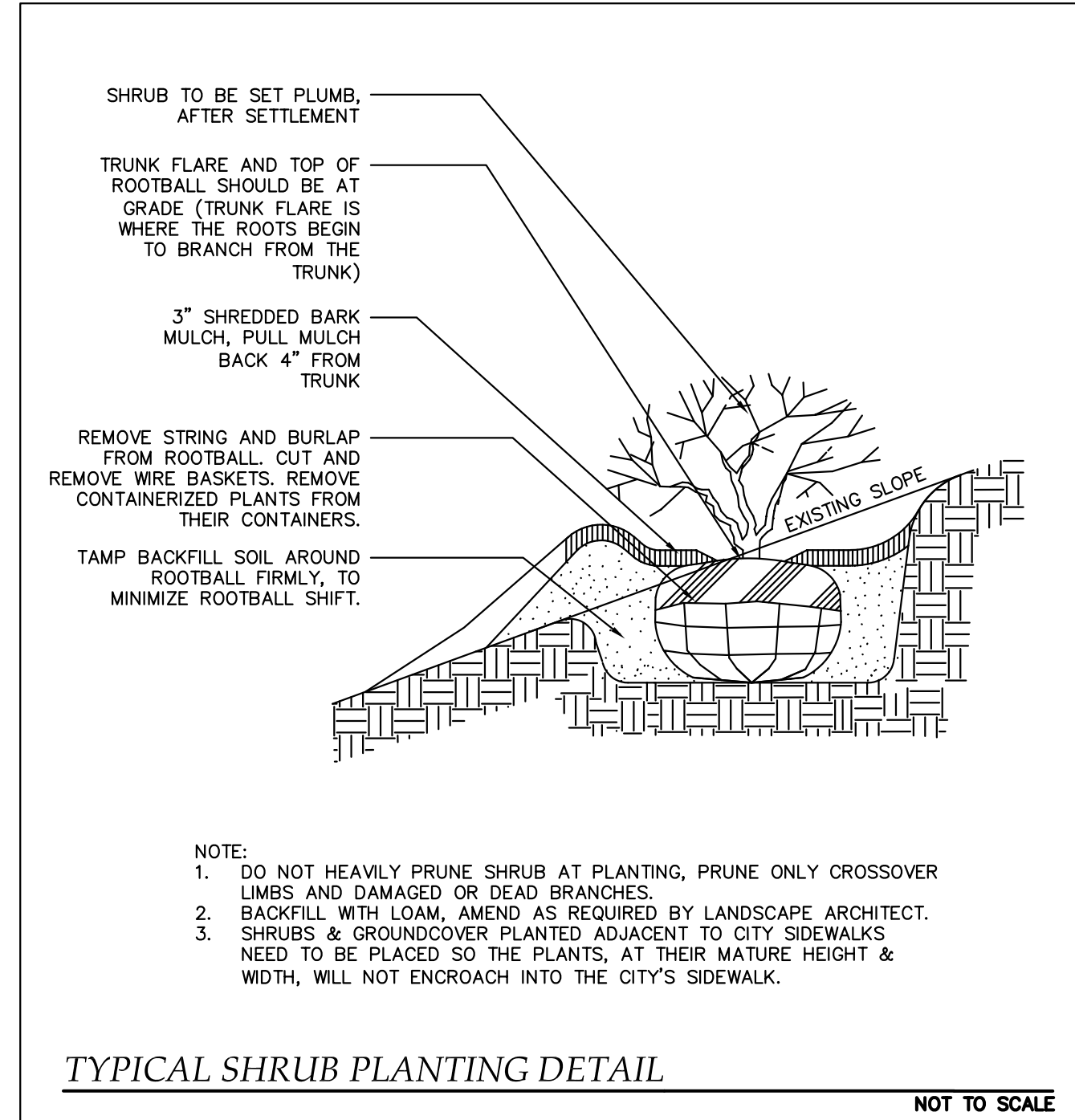
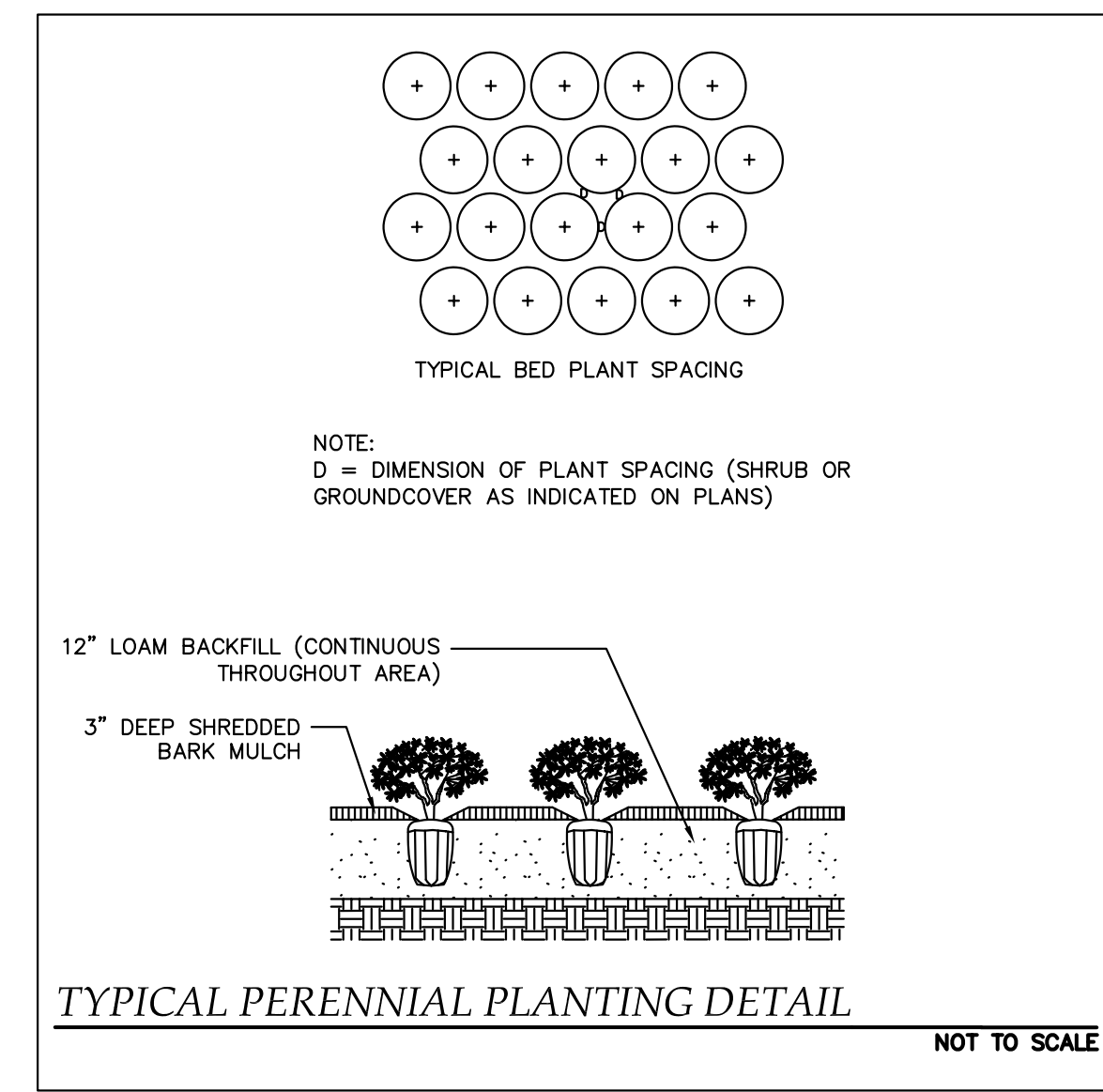
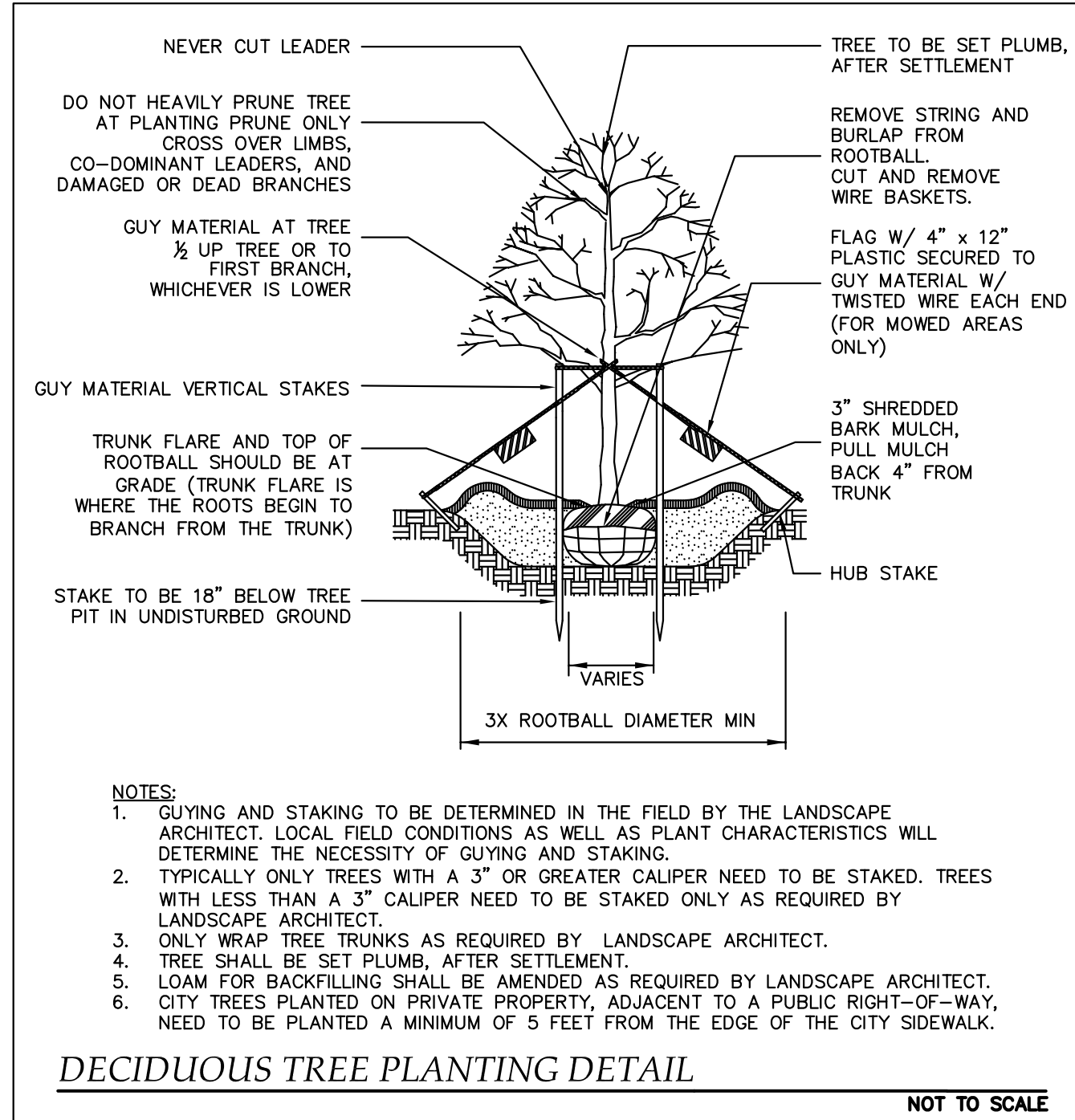
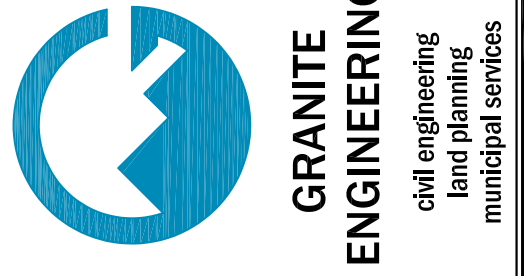
TITLE:
SEPTIC DETAILS

PROJECT No. DATE: SCALE:
20-0820-1 MAY 12, 2021 AS SHOWN
SHEET: 14 OF 31

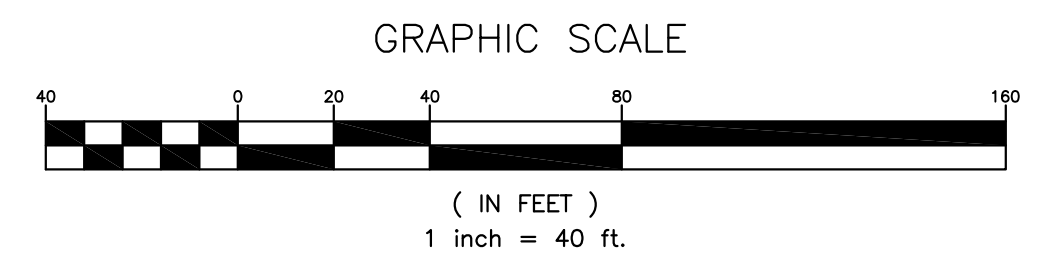
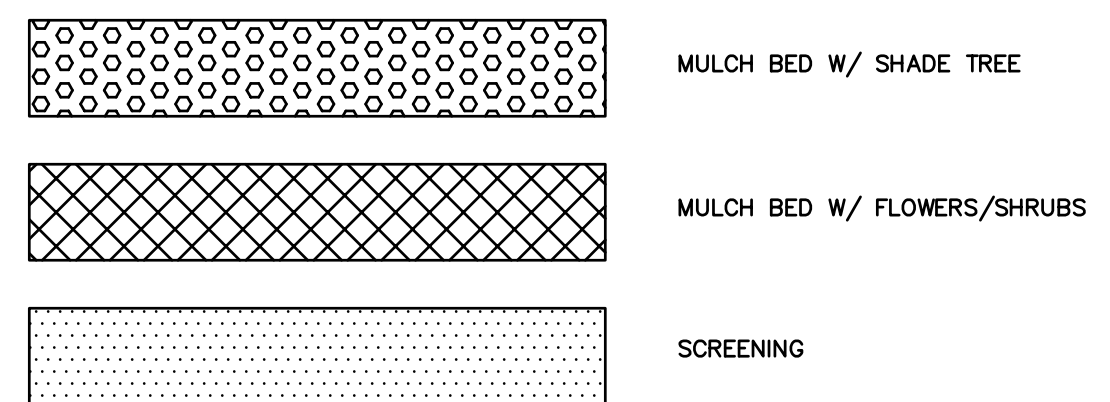
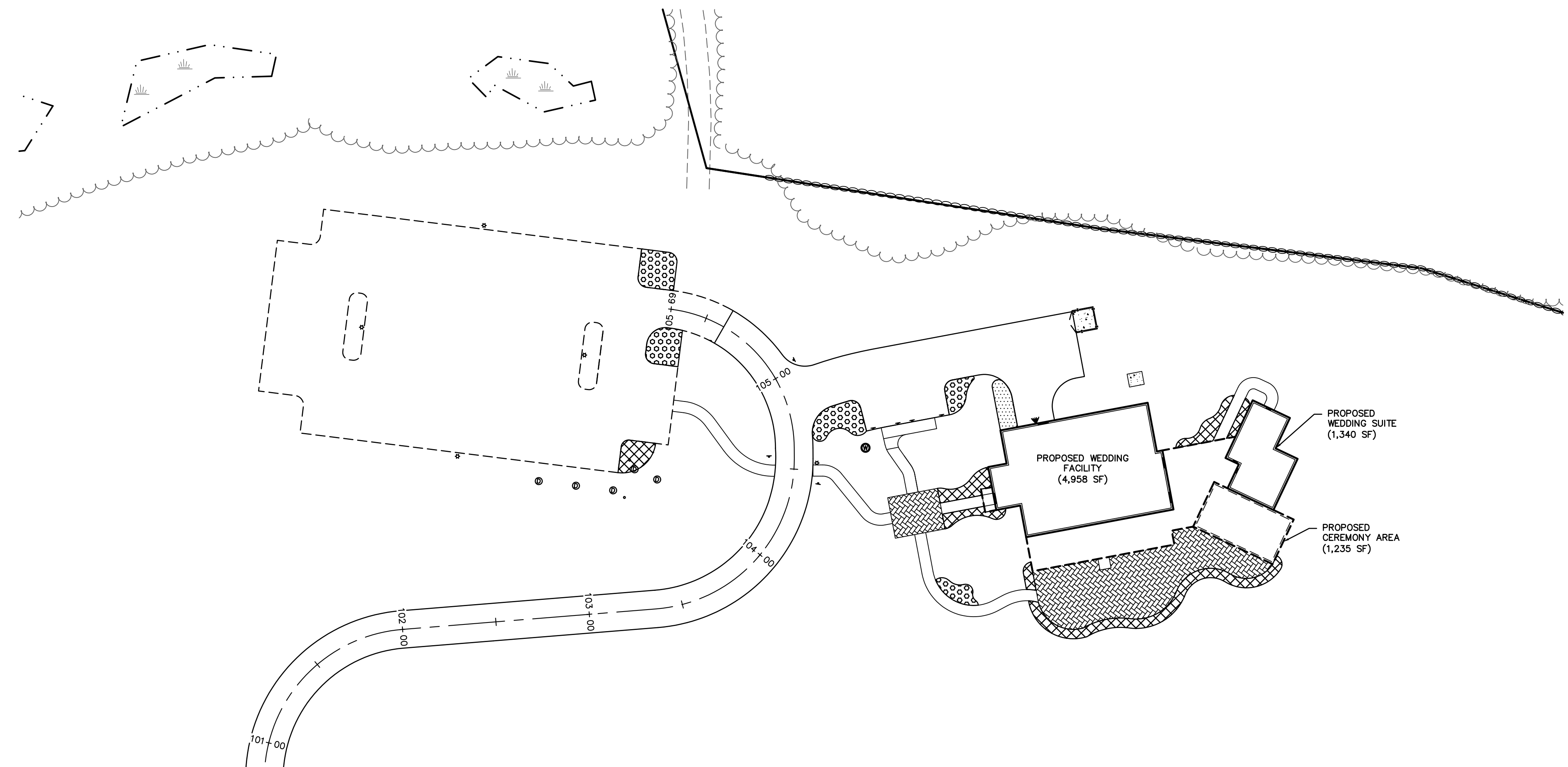


PLANTING NOTES:

1. THE PURPOSE OF THIS PLAN IS TO ILLUSTRATE THE LOCATION OF PROPOSED SITE LANDSCAPING. EXACT LAYOUT AND PLANTED SPECIES WILL BE SELECTED BY THE OWNER AT THE TIME OF CONSTRUCTION.



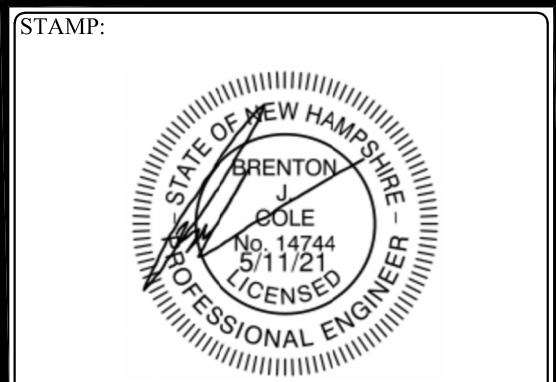
LOAM & SEED ALL DISTURBED AREAS (TYP.)



NO.	DATE	COMMENTS
0	05/12/2021	PROJECT SUBMITTAL

OWNER/APPLICANT:
BIG WHITE DOG, LLC
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WESTWOOD, MA 02090

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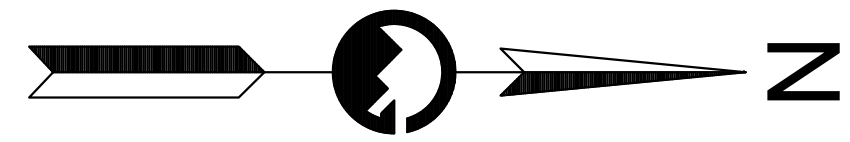


LOCATION:
TAX MAP 1 LOTS 743 & 744-A
2226 WEARE ROAD
HENNIKER, NEW HAMPSHIRE
MERRIMACK COUNTY

PROJECT:
MOUNTAIN TOP VENUE

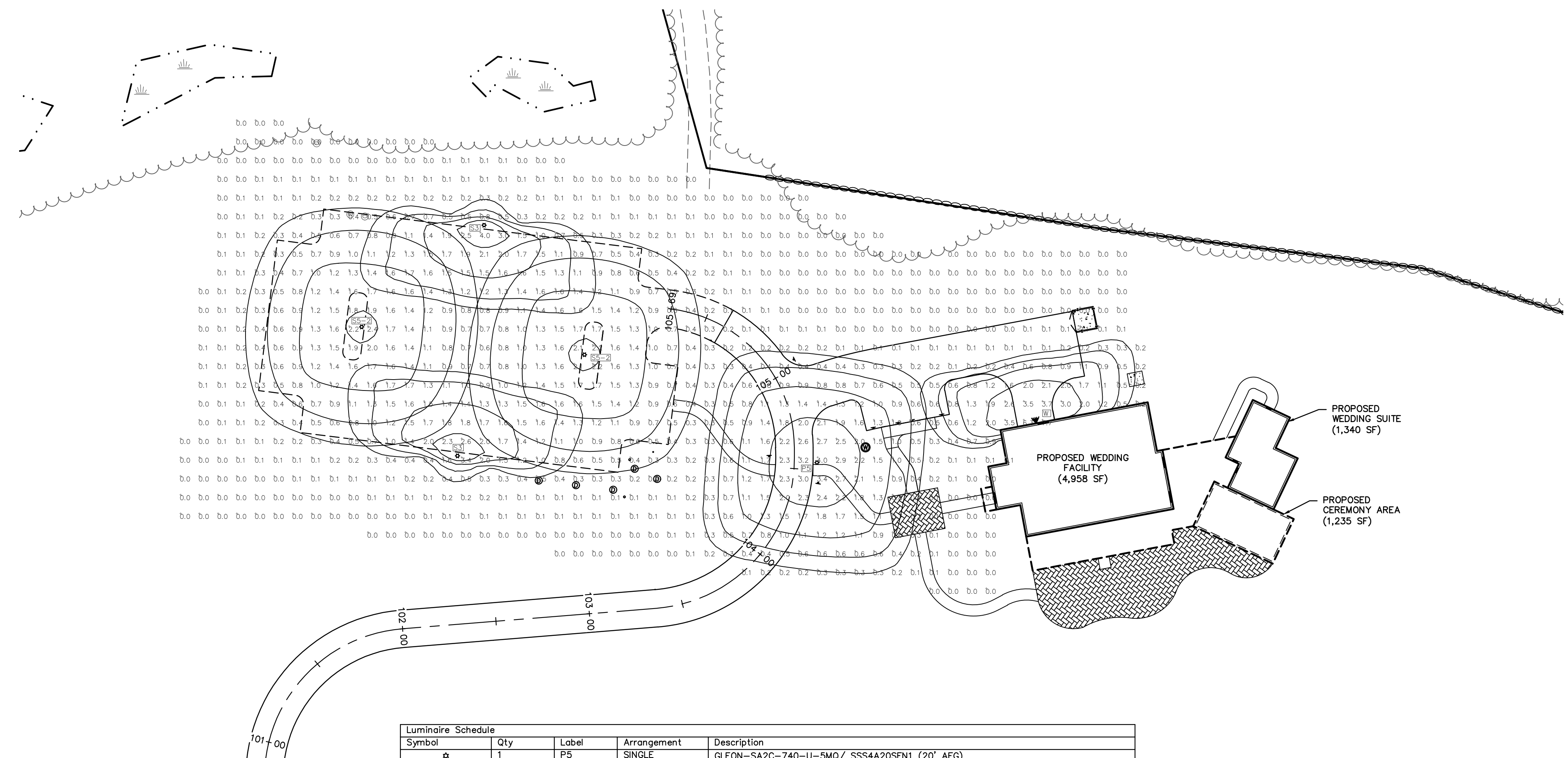
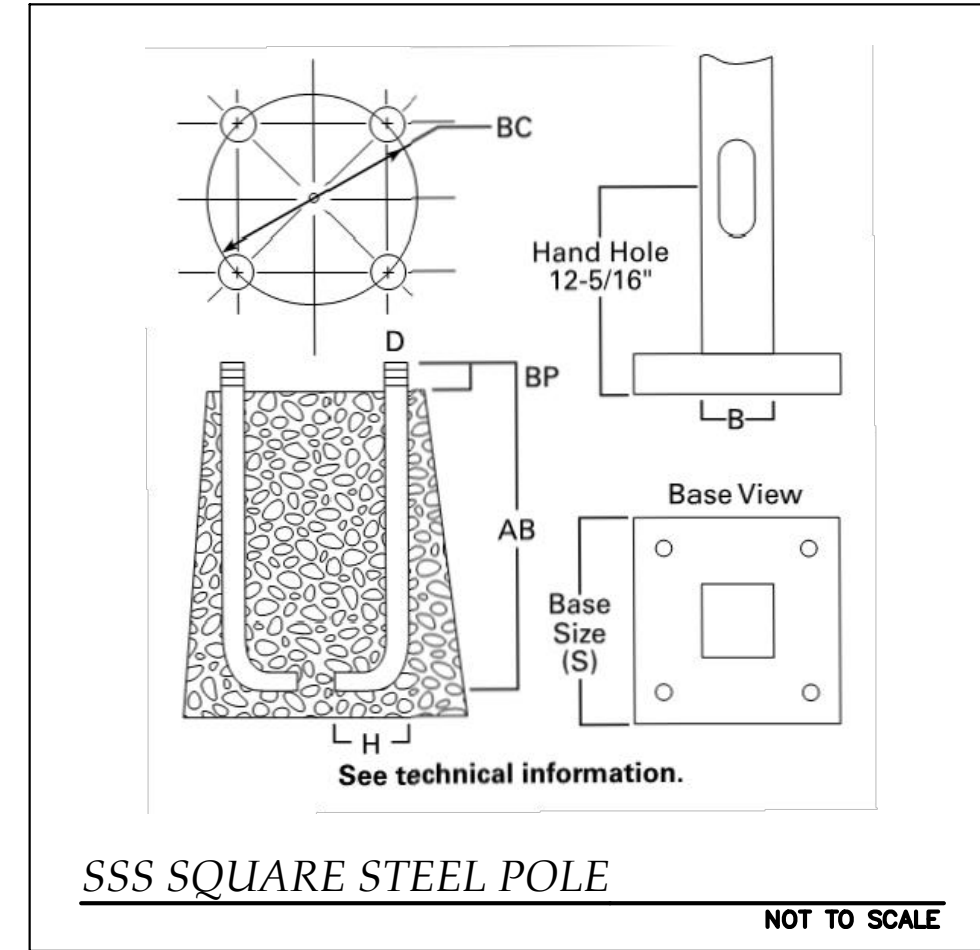
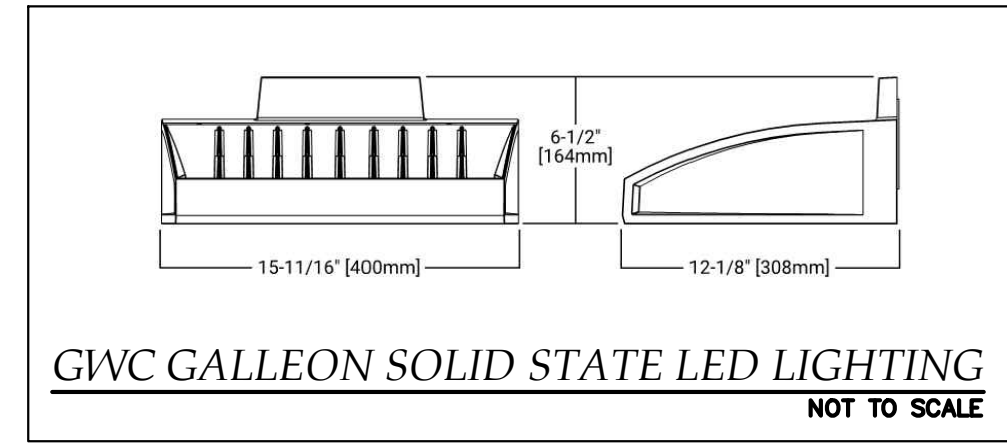
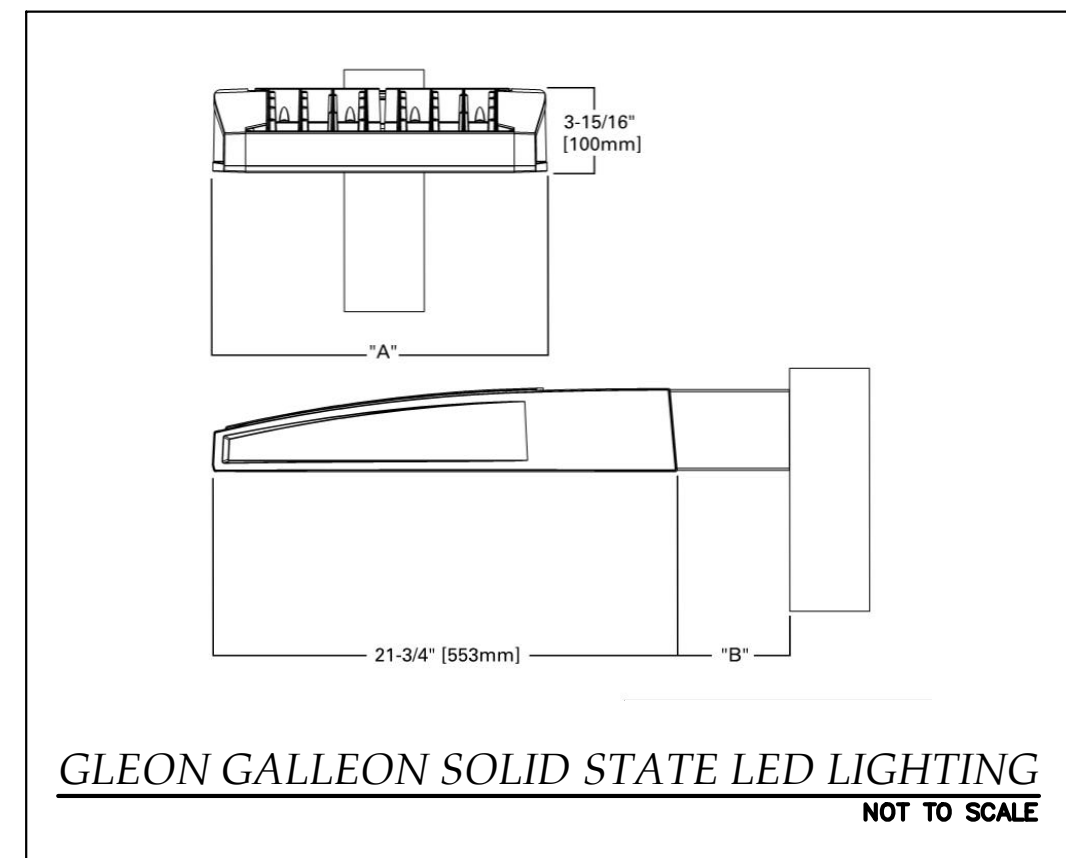
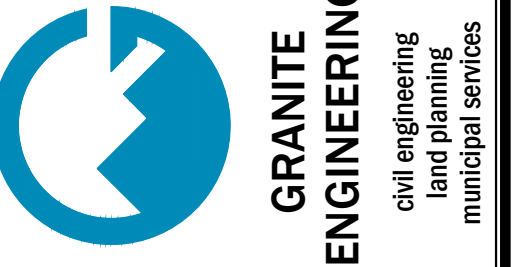
TITLE:
LANDSCAPING PLAN

PROJECT No: 20-0820-1
DATE: MAY 12, 2021
SHEET: 15 OF 31
SCALE: HORIZ. 1" = 40'

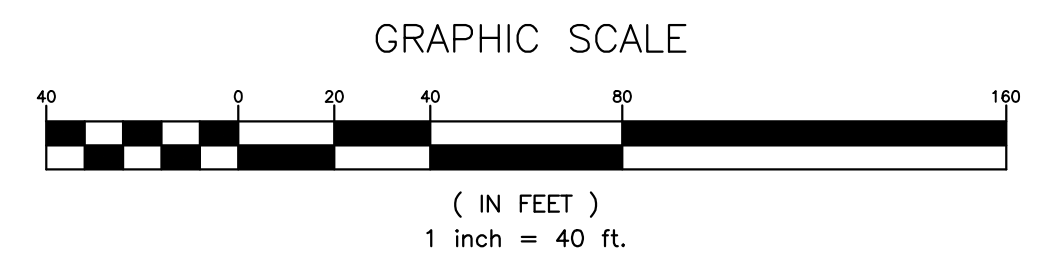


GENERAL NOTES:

1. THE PURPOSE OF THIS PLAN IS TO ILLUSTRATE THE PROPOSED LIGHTING FOR THE PROJECT.
2. ALL FIXTURES SHALL BE AS SPECIFIED BY CHARRON, LLC.
3. ALL PROPOSED FIXTURES ARE FULL CUTOFF FIXTURES



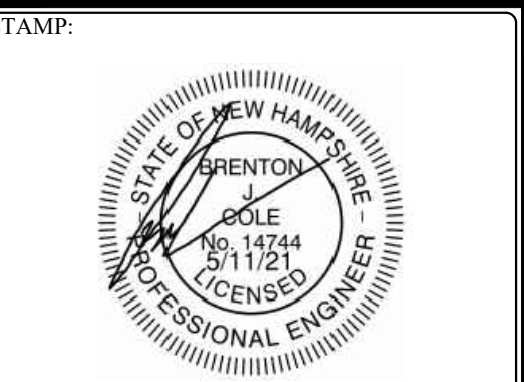
Luminaire Schedule				
Symbol	Qty	Label	Arrangement	Description
⬠	1	PS	SINGLE	GLEON-SA2C-740-U-5M1/ SSS4A20SFN1 (20' AFG)
⬠	2	S3	SINGLE	GLEON-SA1B-740-U-SL3/ SSS4A20SFN1 (20' AFG)
⬠	2	SS-2	BACK-BACK	GLEON-SA1B-740-U-5M1/ SSS4A20SFN2 (20' AFG)
◀	1	W	SINGLE	GWC-SA1C-740-U-SL3/ WALL MTD 15' AFG



NO.	DATE	REVISIONS
0	05/12/2021	PROJECT SUBMITTAL

OWNER/APPLICANT:
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155 GROVE STREET
WESTWOOD, MA 02090

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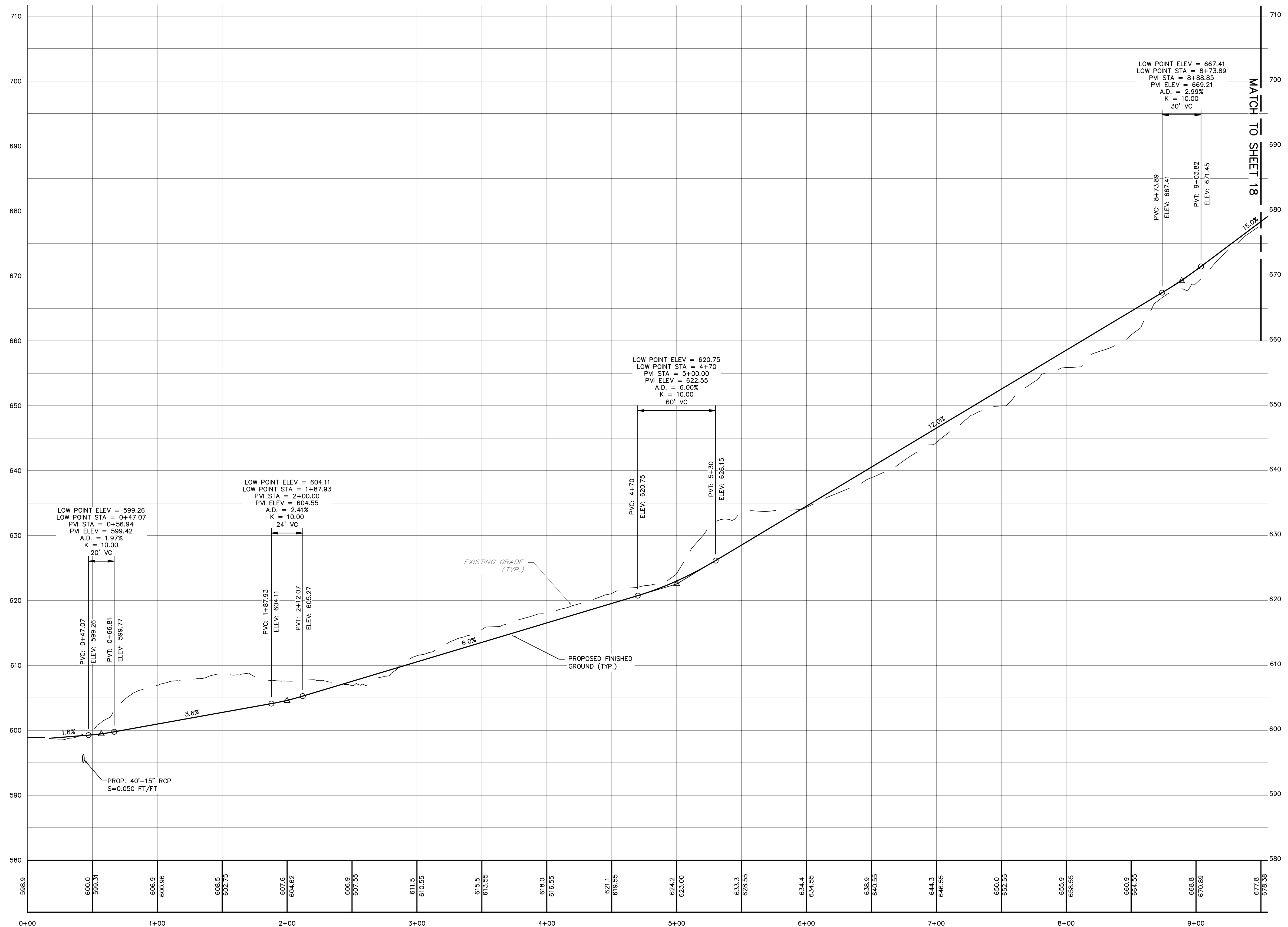


LOCATION:
TAX MAP 1 LOTS 743 & 744-A
2226 WEARE ROAD
HENNIKER, NEW HAMPSHIRE
MERRIMACK COUNTY

PROJECT:
MOUNTAIN TOP VENUE

TITLE:
LIGHTING PLAN

PROJECT No: 20-0820-1 DATE: MAY 12, 2021 SCALE: 1"=40'
SHEET: 16 OF 31



DRIVEWAY PROFILE (STA. 0+00 TO STA. 9+50)

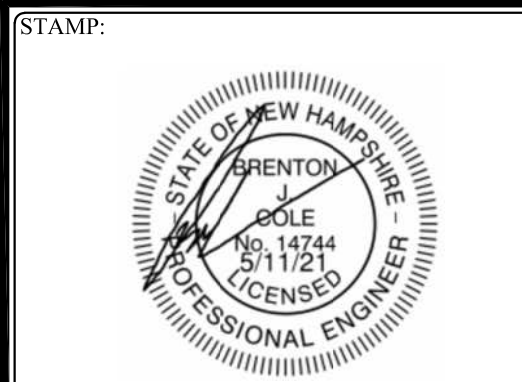
1"=40' HORIZ., 1"=8' VERT.

No.	DATE	REVISIONS
0	05/12/2021	PROJECT SUBMITTAL

OWNER/APPLICANT:
BIG WHITE DOG, LLC
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WESTWOOD, MA 02090

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LOCATION:
TAX MAP 1 LOTS 743 & 744-A
2226 WEARE ROAD
HENNIKER, NEW HAMPSHIRE
MERRIMACK COUNTY

PROJECT:
MOUNTAIN TOP VENUE

TITLE:
DRIVEWAY PROFILES

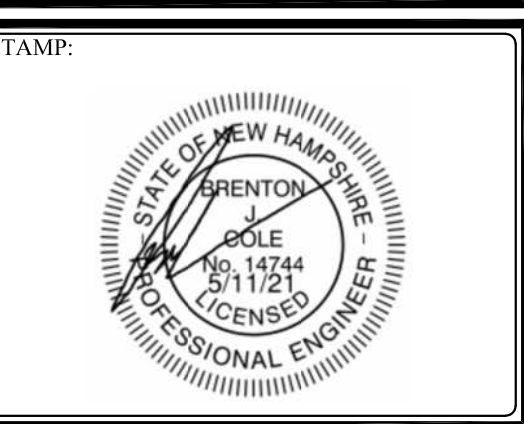
PROJECT No. 20-0820-1	DATE: MAY 12, 2021	SCALE: HORIZ. 1"=40'
SHEET: 17 OF 31		VERT. 1"=8'

NO.	DATE	REVISIONS
0	05/12/2021	PROJECT SUBMITTAL

OWNER/APPLICANT:
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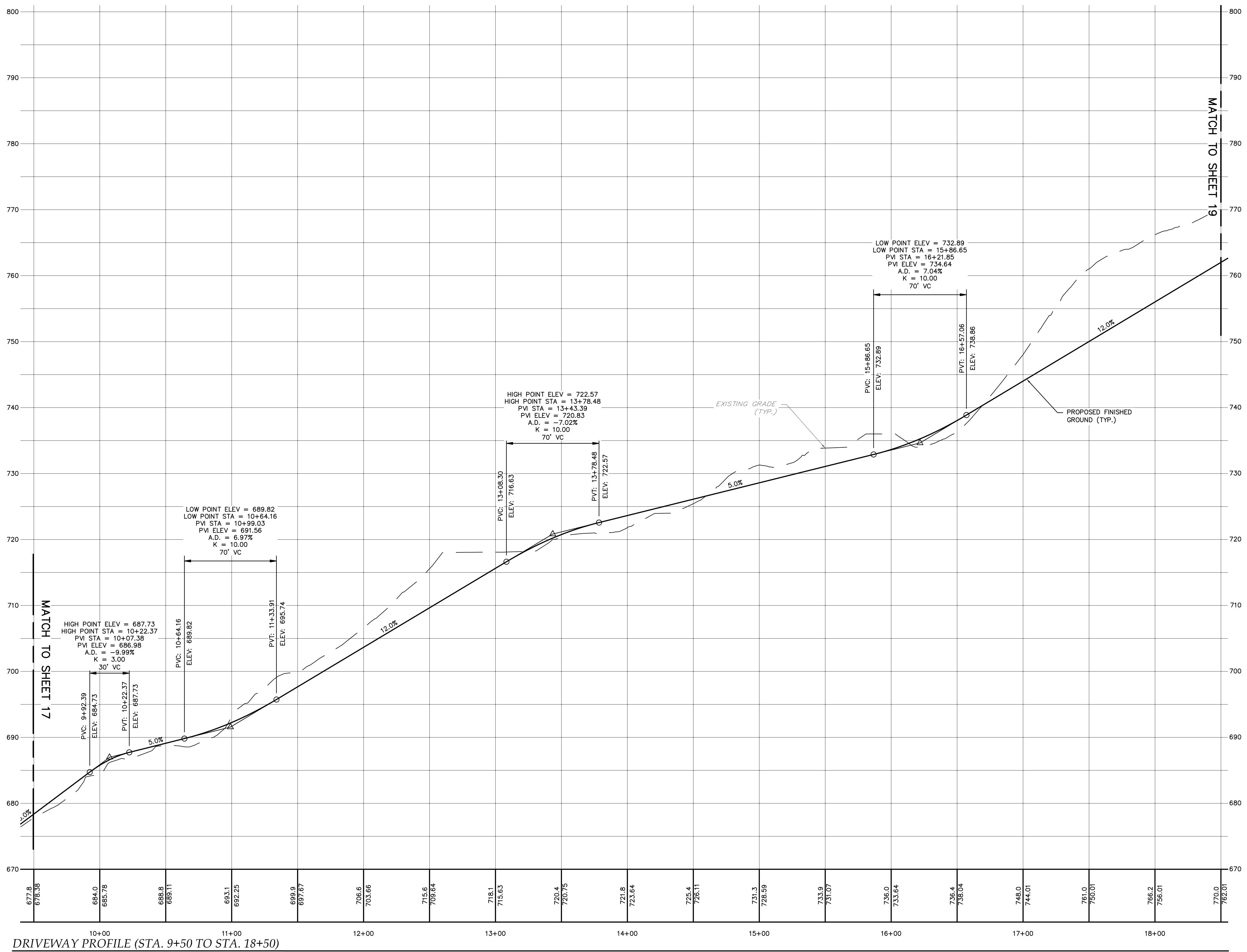


LOCATION:
TAX MAP 1 LOTS 743 & 744-A
2226 WEARE ROAD
HENNIKER, NEW HAMPSHIRE
MERRIMACK COUNTY

PROJECT:
MOUNTAIN TOP VENUE

TITLE:
DRIVEWAY PROFILES

PROJECT NO: 20-0820-1	DATE: MAY 12, 2021	SCALE: HORIZ. 1"=40' VERT. 1"=8'
SHEET: 18 OF 31		

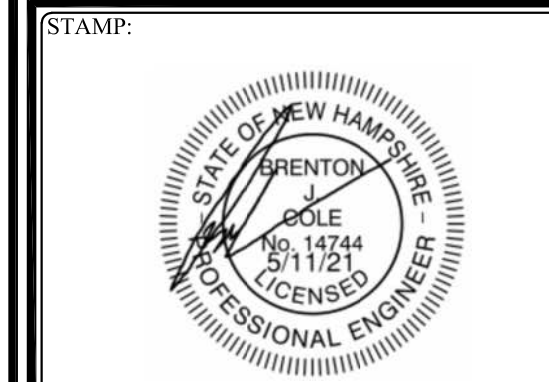


REVISIONS		COMMENTS
No.	DATE	
0	05/12/2021	PROJECT SUBMITTAL

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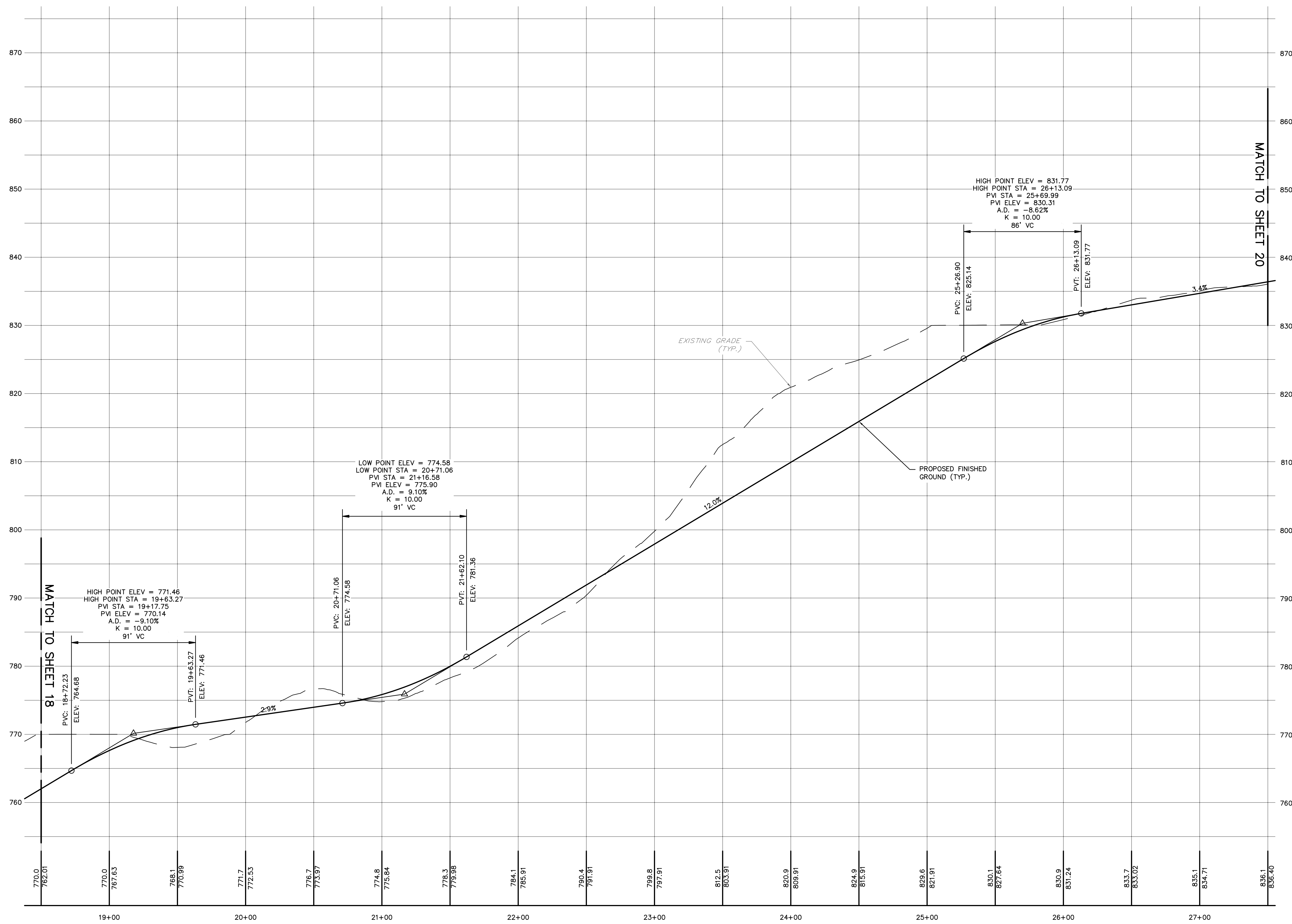


LOCATION:
TAX MAP 1 LOTS 743 & 744-A
2226 WEARE ROAD
HENNIKER, NEW HAMPSHIRE
MERRIMACK COUNTY

PROJECT:
MOUNTAIN TOP VENUE

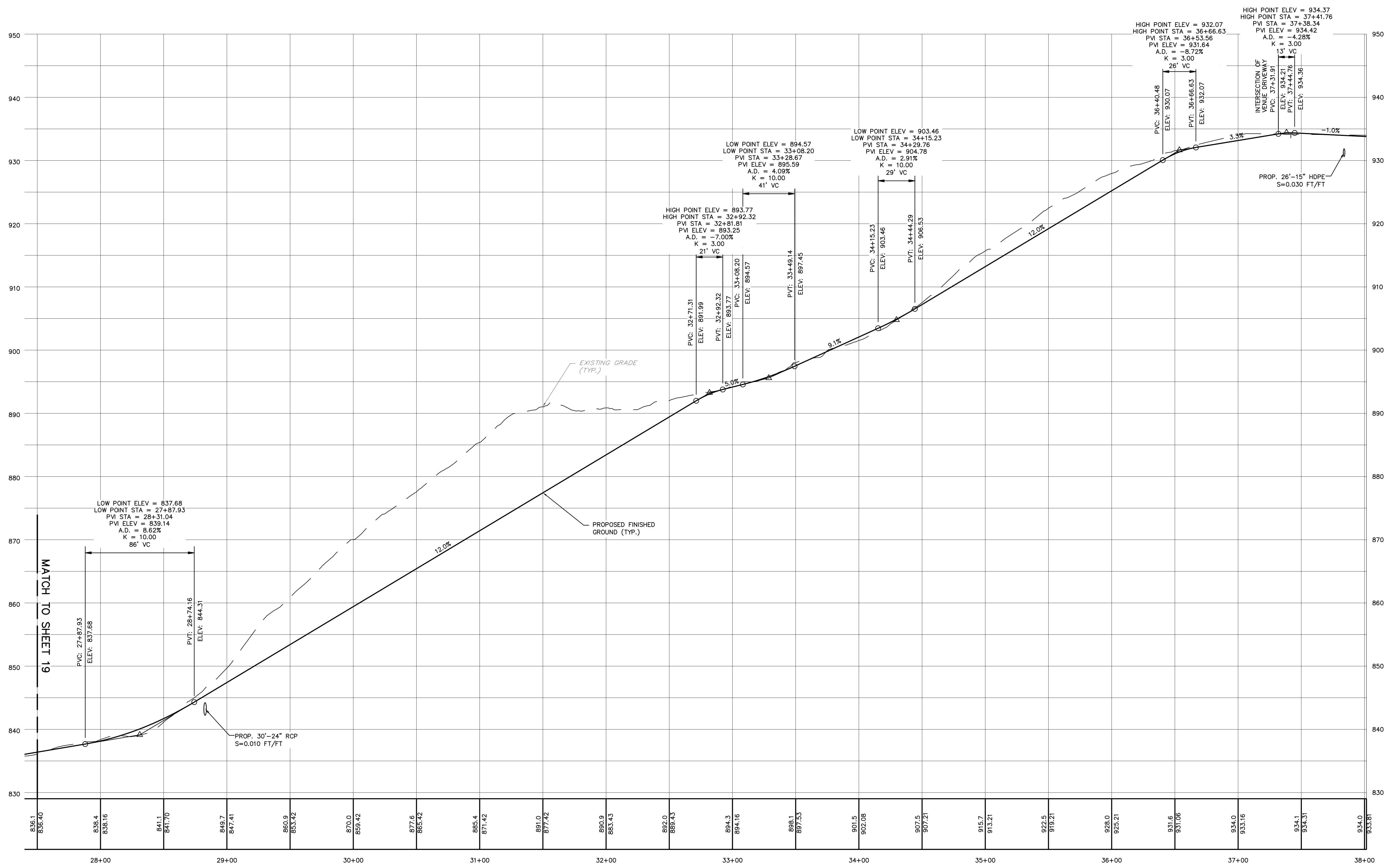
TITLE:
DRIVEWAY PROFILES

PROJECT No.	DATE	SCALE:
20-0820-1	MAY 12, 2021	HORIZ. 1" = 40'
SHEET:	19 OF 31	VERT. 1" = 8'



DRIVEWAY PROFILE (STA. 18+50 TO STA. 27+50)

1"=40' HORIZ., 1"=8' VERT.



DRIVEWAY PROFILE (STA. 27+50 TO STA. 38+02)

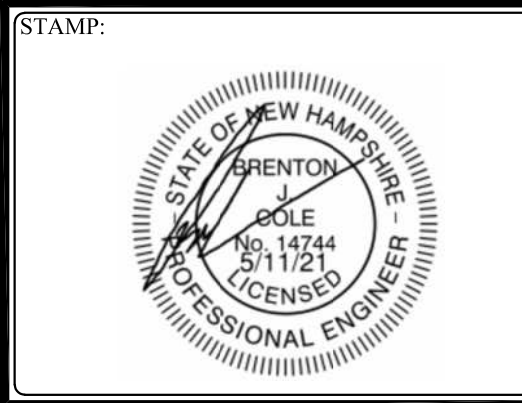
1"=40' HORIZ., 1"=8' VERT.

No.	DATE	COMMENTS
0	05/12/2021	PROJECT SUBMITTAL

OWNER/APPLICANT:
BIG WHITE DOG, LLC
155 GROVE STREET
WESTWOOD, MA 02090

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150 Dow Street, Tower 2, Suite 421
Manchester, New Hampshire 03101
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LOCATION:
TAX MAP 1 LOTS 743 & 744-A
2226 WEARE ROAD
HENNIKER, NEW HAMPSHIRE
MERRIMACK COUNTY

PROJECT:
MOUNTAIN TOP VENUE

TITLE:
DRIVEWAY PROFILES

PROJECT No. 20-0820-1	DATE: MAY 12, 2021	SCALE: HORIZ. 1"=40'
SHEET: 20 OF 31		VERT. 1"=8'

P:\2008201\Draw\Productions\Plans\2008201-PROFILES.dwg, PROFILES, Tue May 11 18:07:46 2021, Acad - Bluebeam PDF, ANFLD_22100_1_34.00_0.rch(es), 1:1

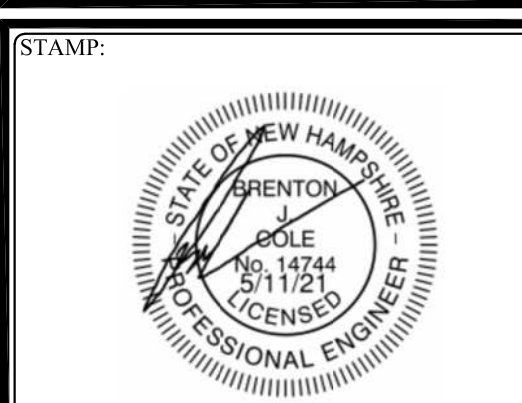
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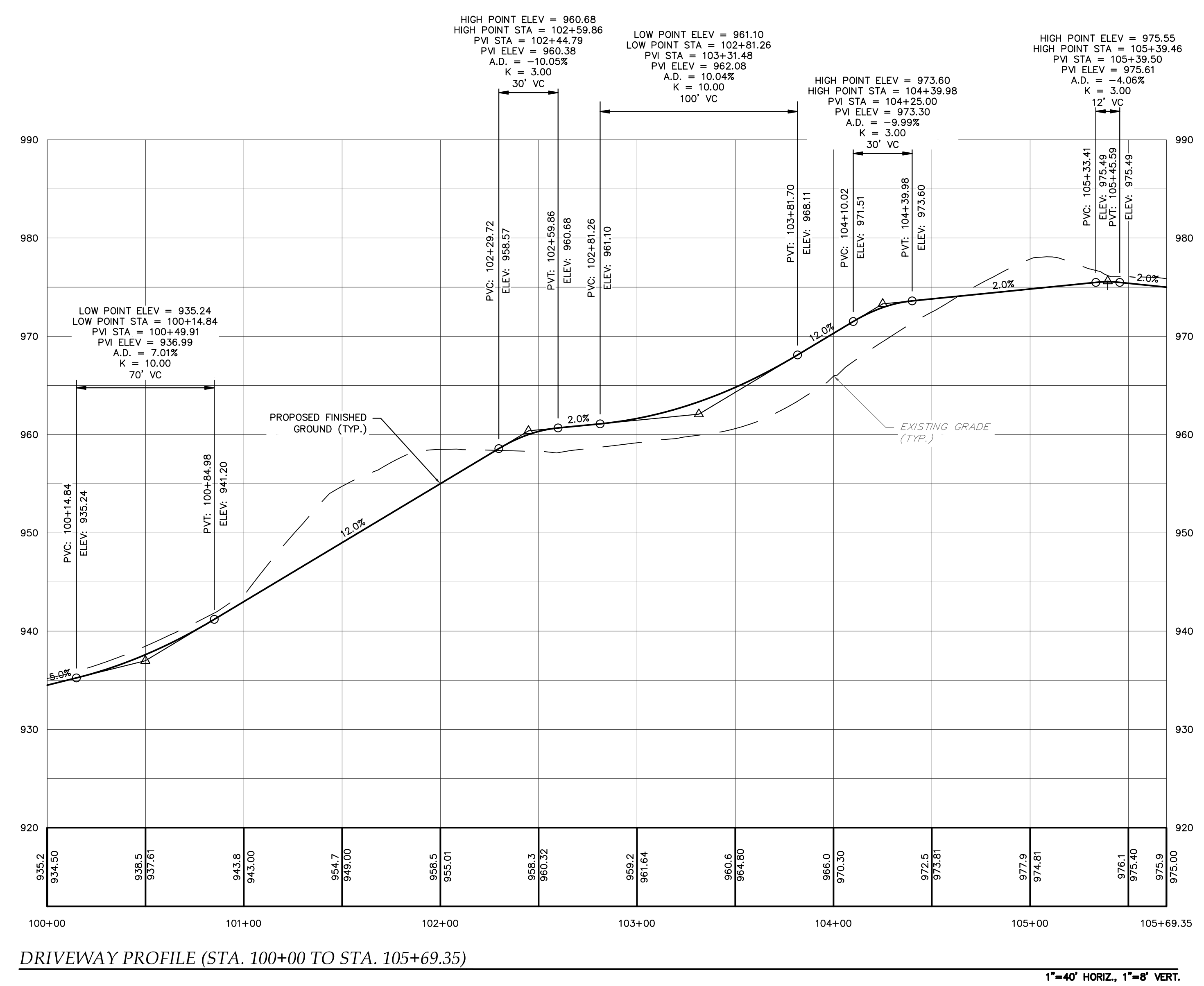


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TAX MAP 1 LOTS 743 & 744-A
2226 WEARE ROAD
HENNIKER, NEW HAMPSHIRE
MERRIMACK COUNTY

PROJECT:
MOUNTAIN TOP VENUE

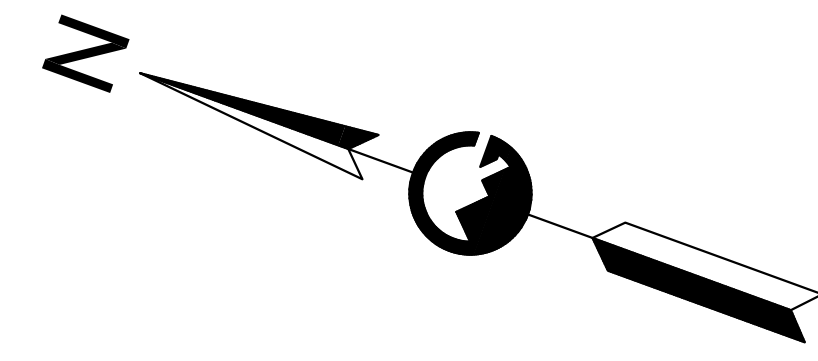
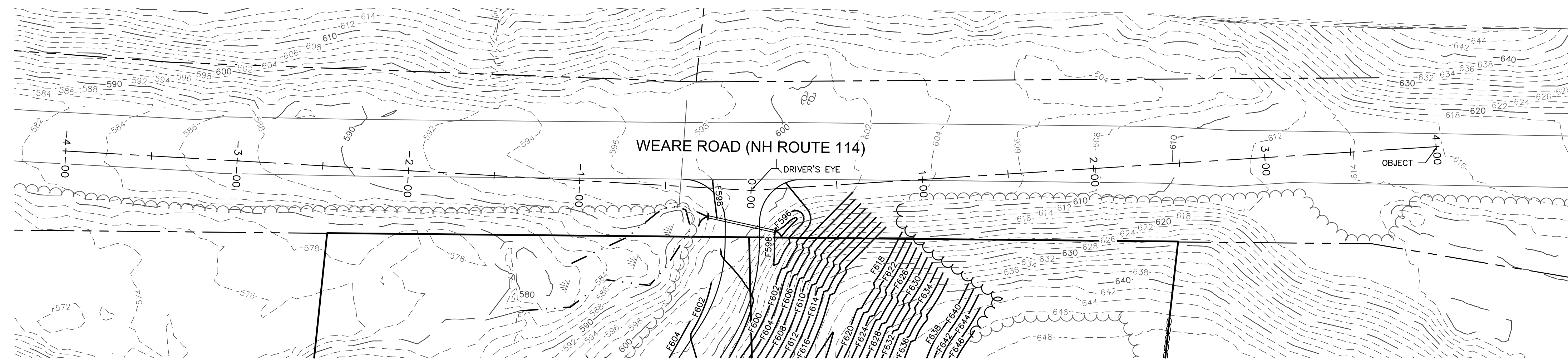
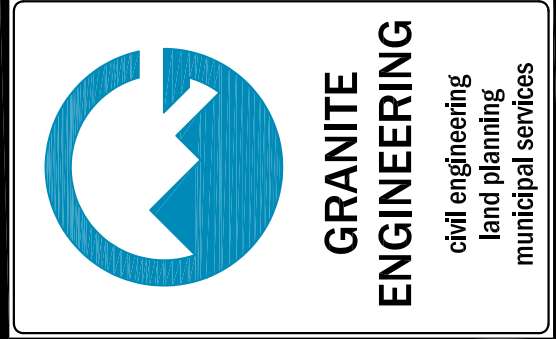
TITLE:
DRIVEWAY PROFILES

PROJECT No. 20-0820-1	DATE: MAY 12, 2021	SCALE: HORIZ. 1"=40'
SHEET: 21 OF 31		VERT. 1"=8'

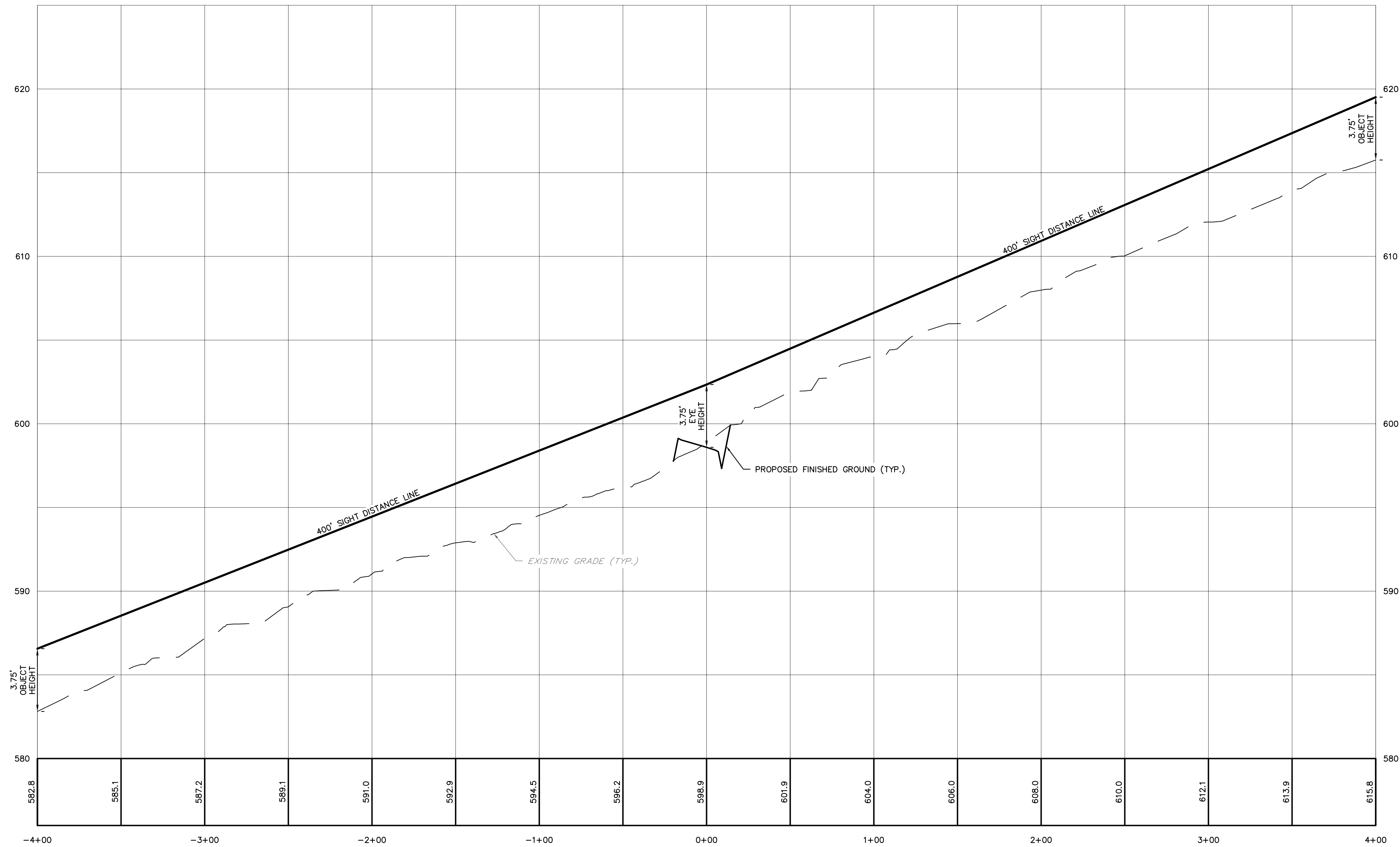


SIGHT DISTANCE NOTES:

1. ACCORDING TO NHDOT DRIVEWAY POLICY, 400' OF SIGHT DISTANCE IS REQUIRED. THE SIGHT DISTANCE LOOKING NORTH AND SOUTH MEETS THE 400' REQUIREMENT.
2. SIGHT DISTANCE MEETS AASHTO SIGHT DISTANCE REQUIREMENTS FOR A 50 MPH ROADWAY PER TABLE 3-2. STOPPING SIGHT DISTANCE ON GRADES, OF A POLICY ON GEOMETRIC DESIGN OF HIGHWAYS AND STREETS 7TH EDITION.



NHDOT DRIVEWAY SIGHT DISTANCE PLAN
SCALE: 1"=40'

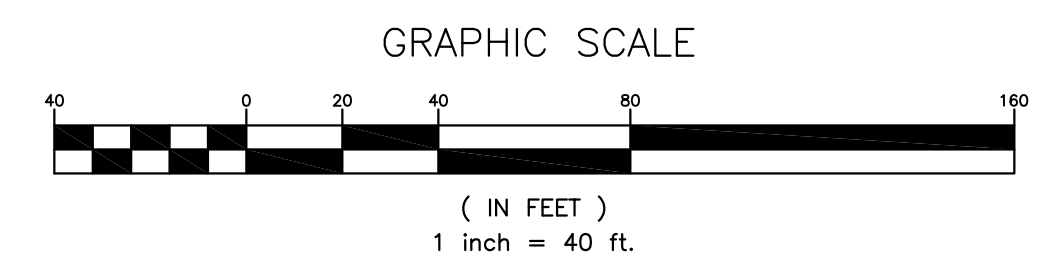


LEGEND

- UTILITY POLE
- ABUTTER LINE
- PROPERTY LINE
- BUILDING SETBACK
- PROP. EDGE OF GRAVEL
- EXIST. EDGE OF PAVEMENT
- EDGE OF WETLANDS
- EXIST. STONEWALL
- EXIST. TREELINE

NHDOT DRIVEWAY SIGHT DISTANCE PROFILE

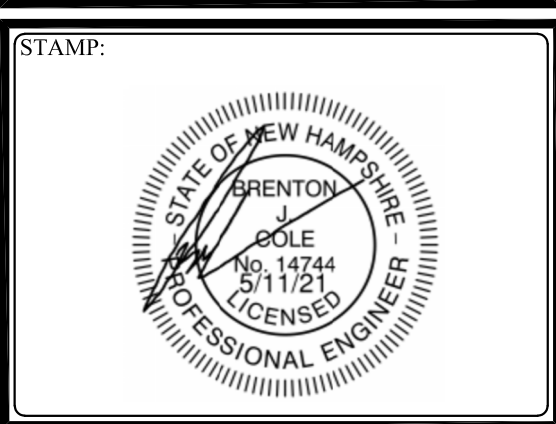
SCALE: 1"=40' (HORIZ.)
SCALE: 1"=4' (VERT.)



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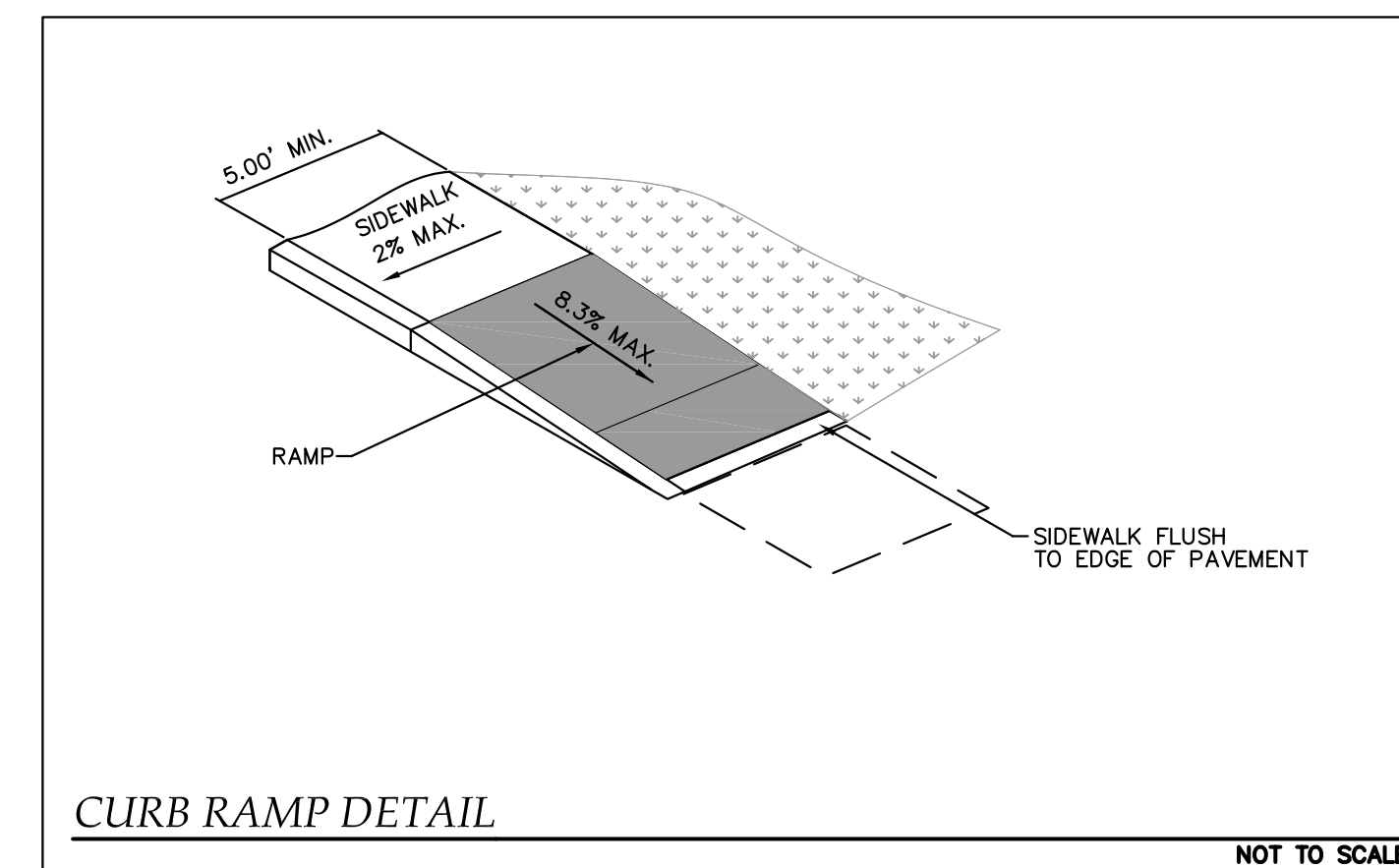
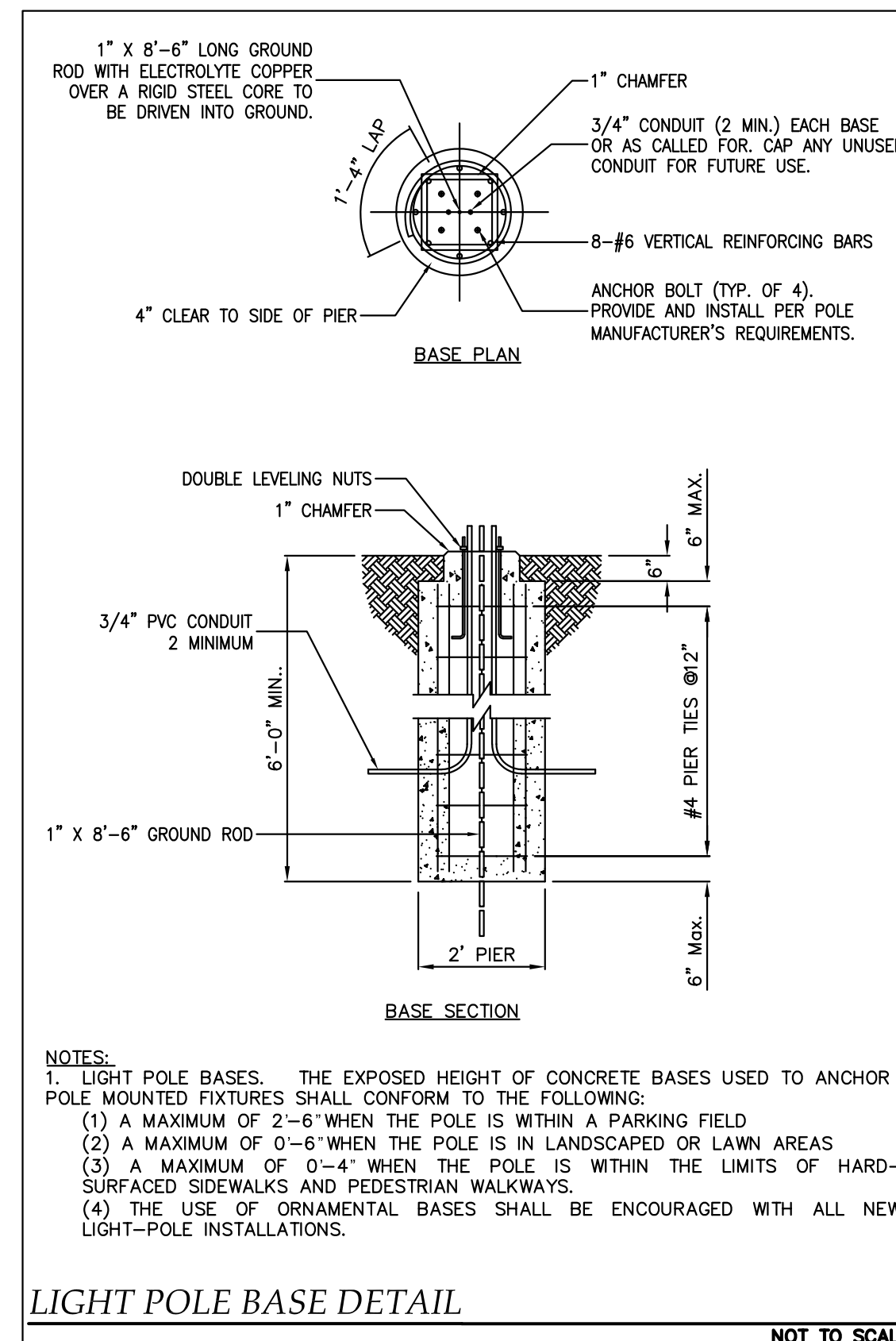
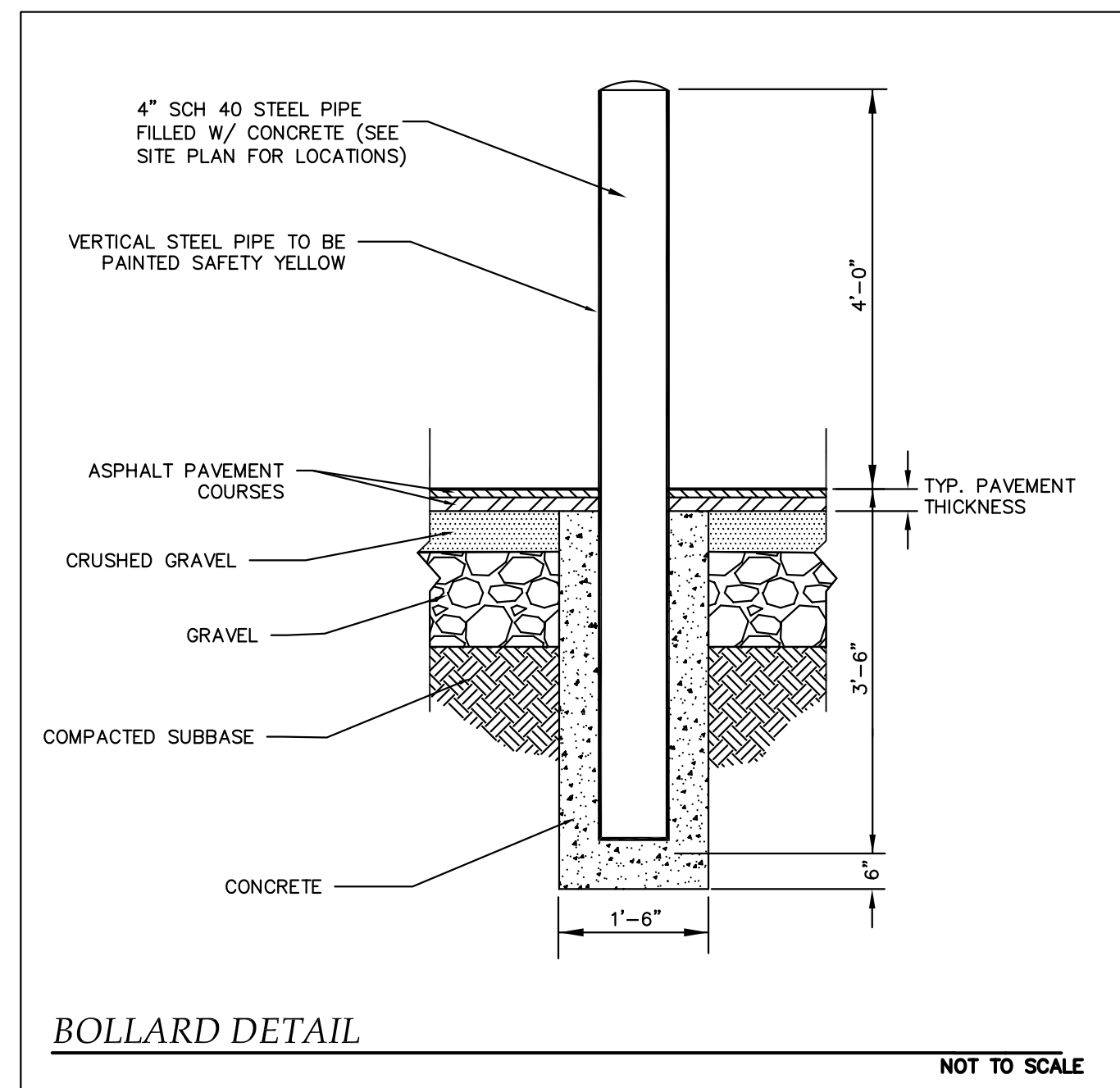
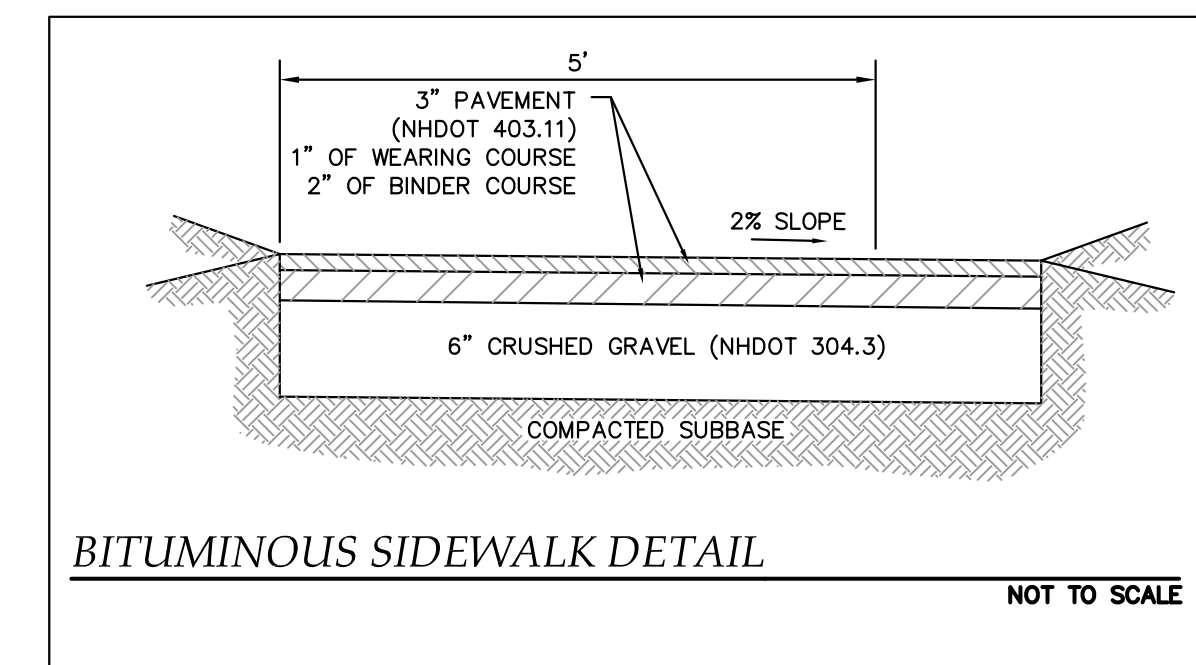
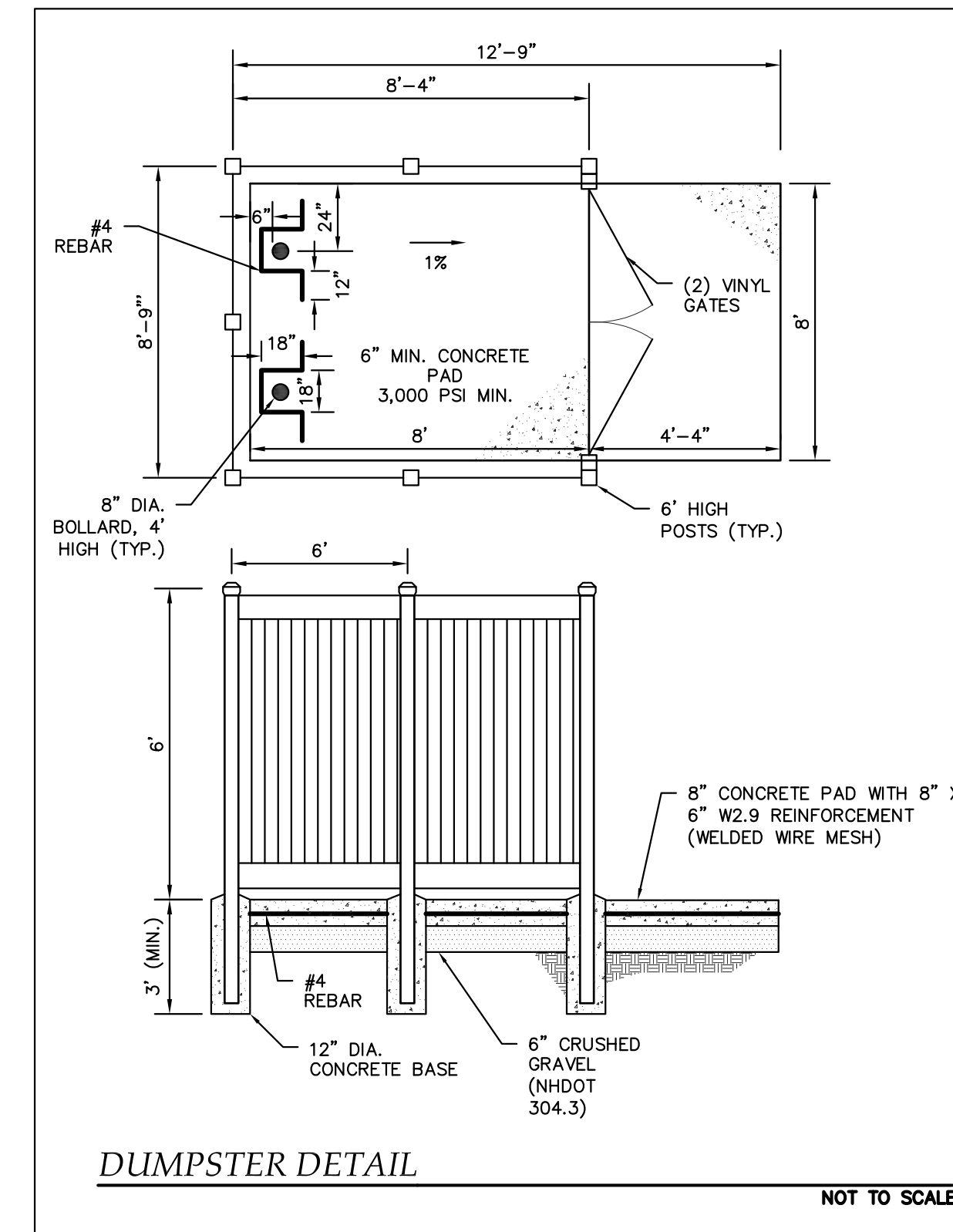
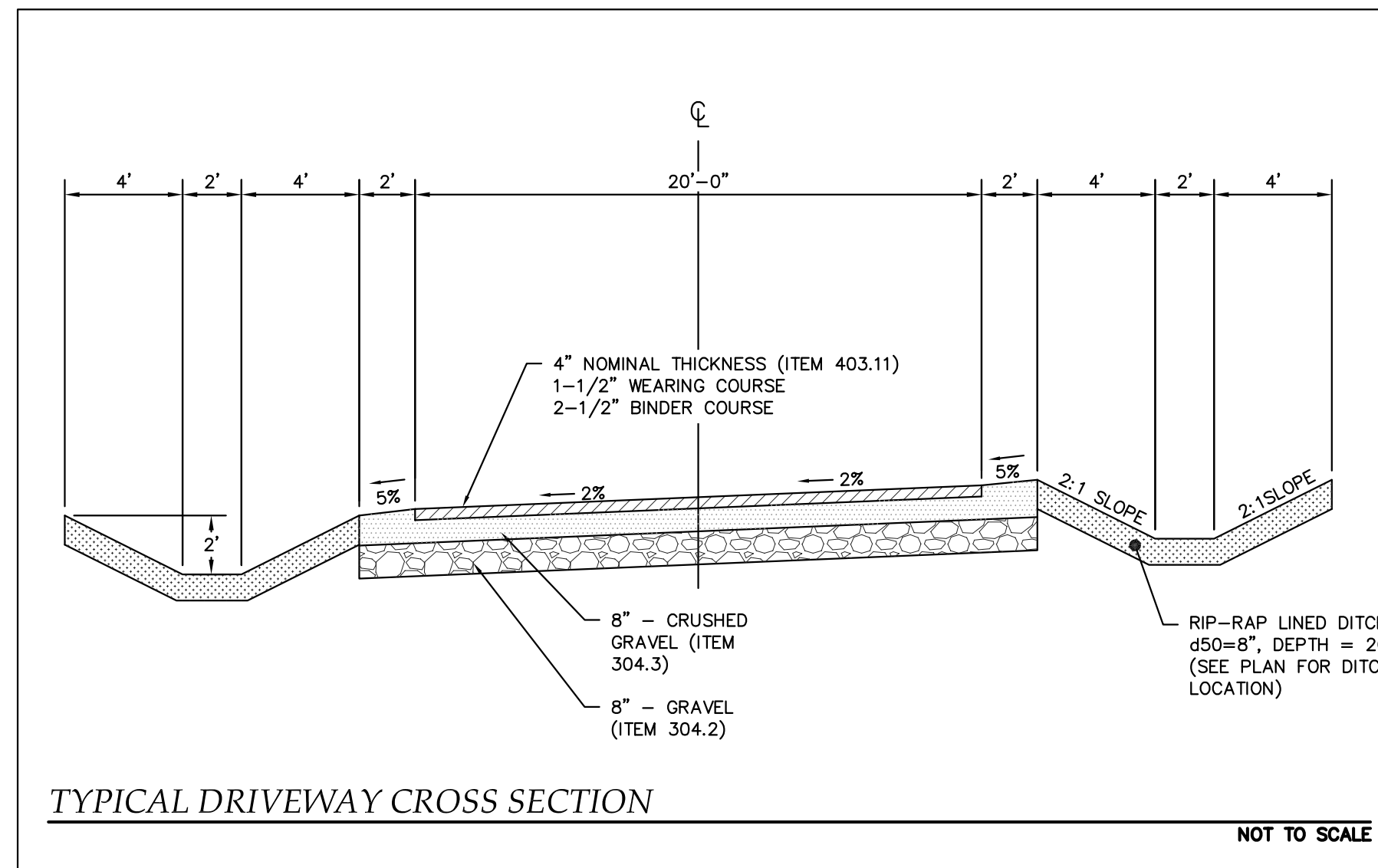
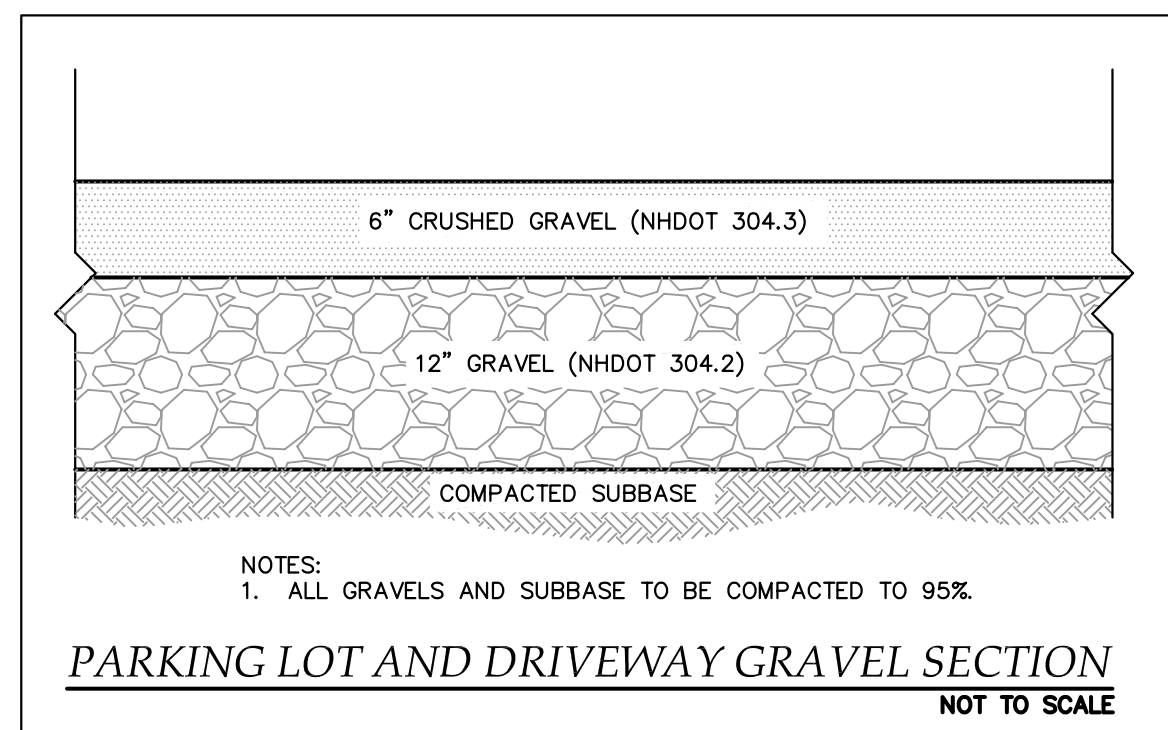
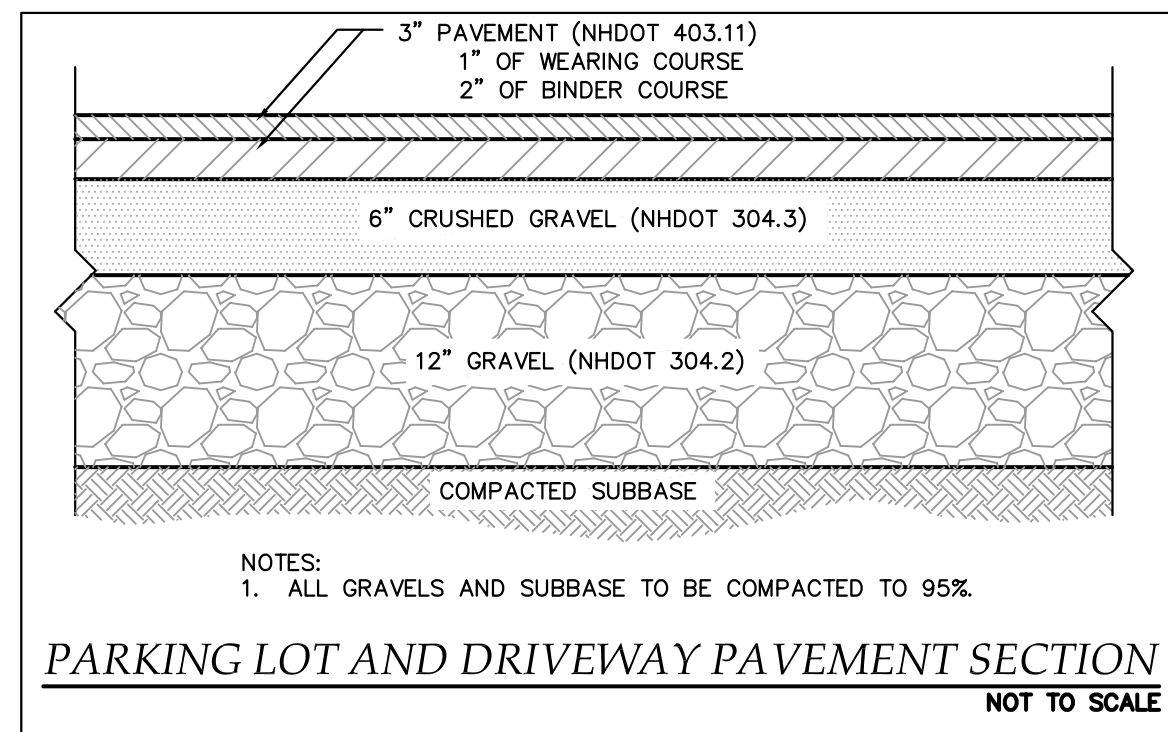


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HENNIKER, NEW HAMPSHIRE
MERRIMACK COUNTY

PROJECT:
MOUNTAIN TOP VENUE

TITLE:
SIGHT DISTANCE PLAN & PROFILE

PROJECT No:	DATE:	SCALE:
20-0820-1	MAY 12, 2021	1"=40'
SHEET:	22 OF 31	



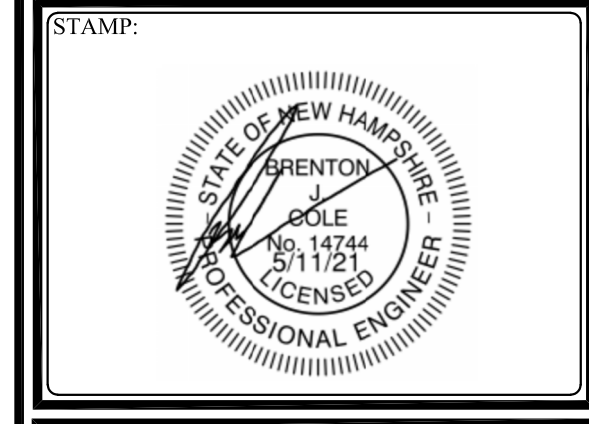
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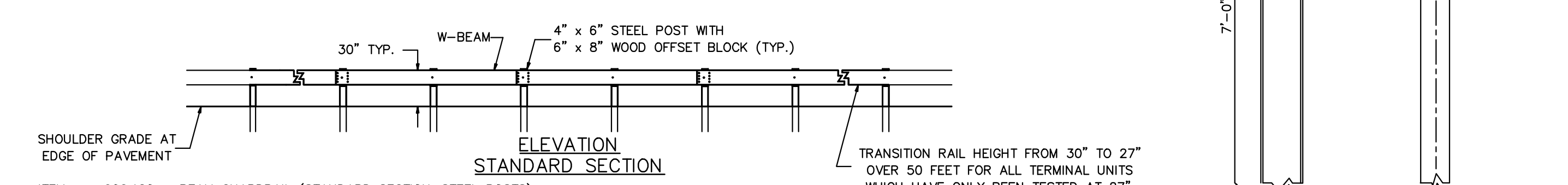
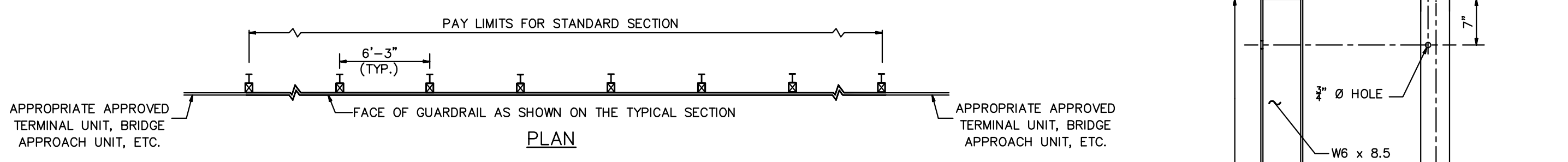
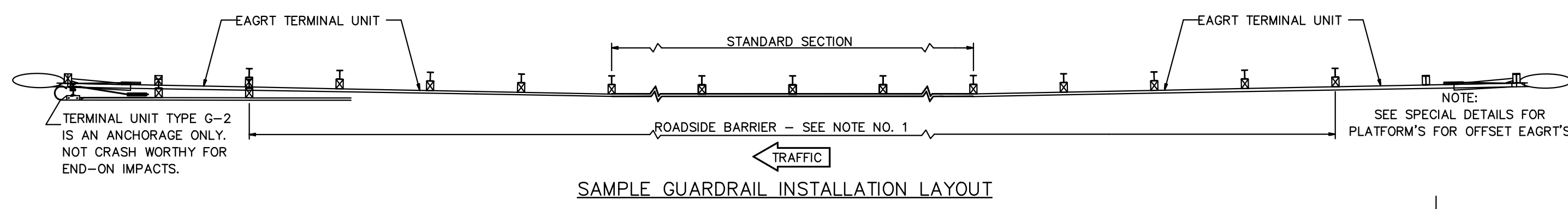
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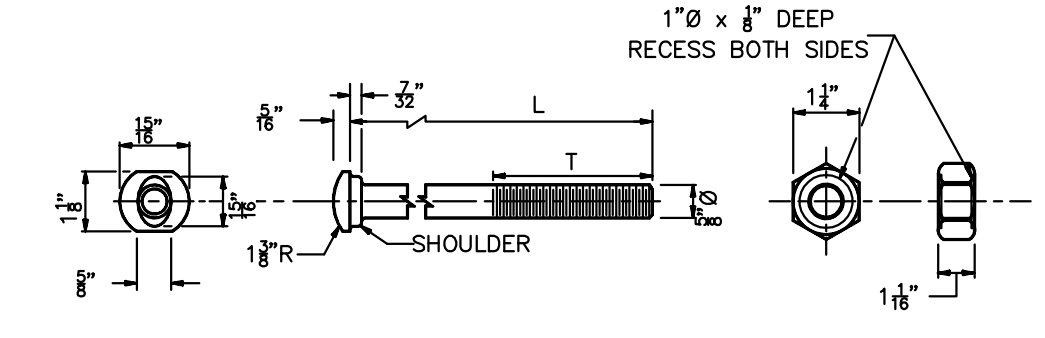
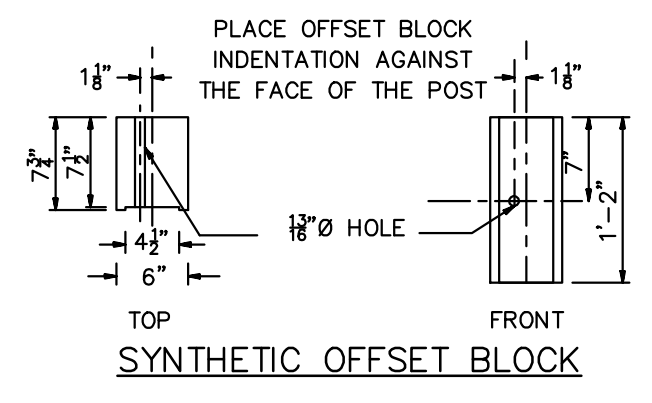
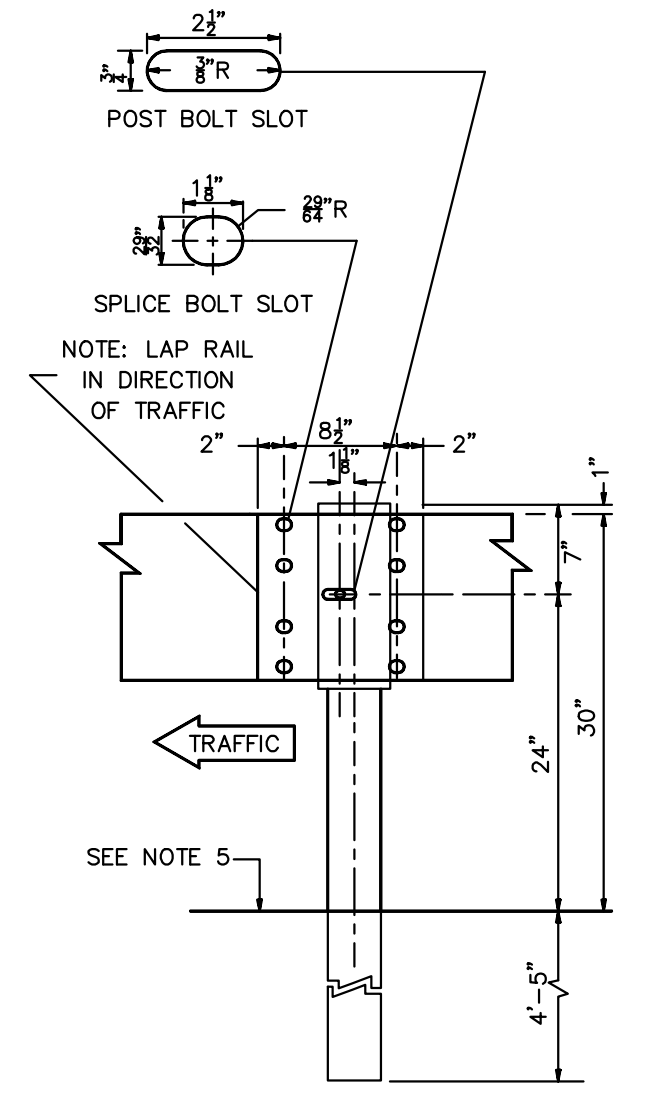
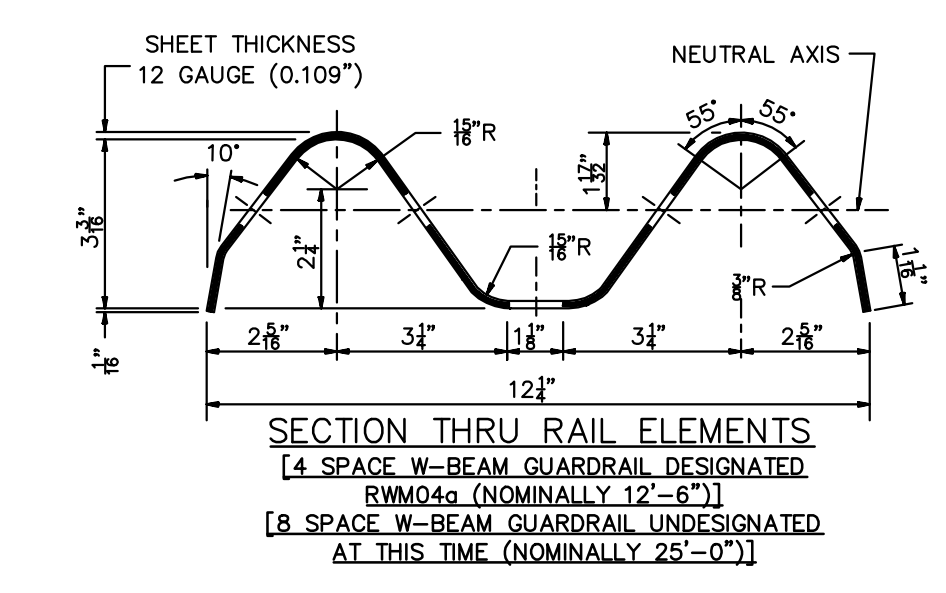
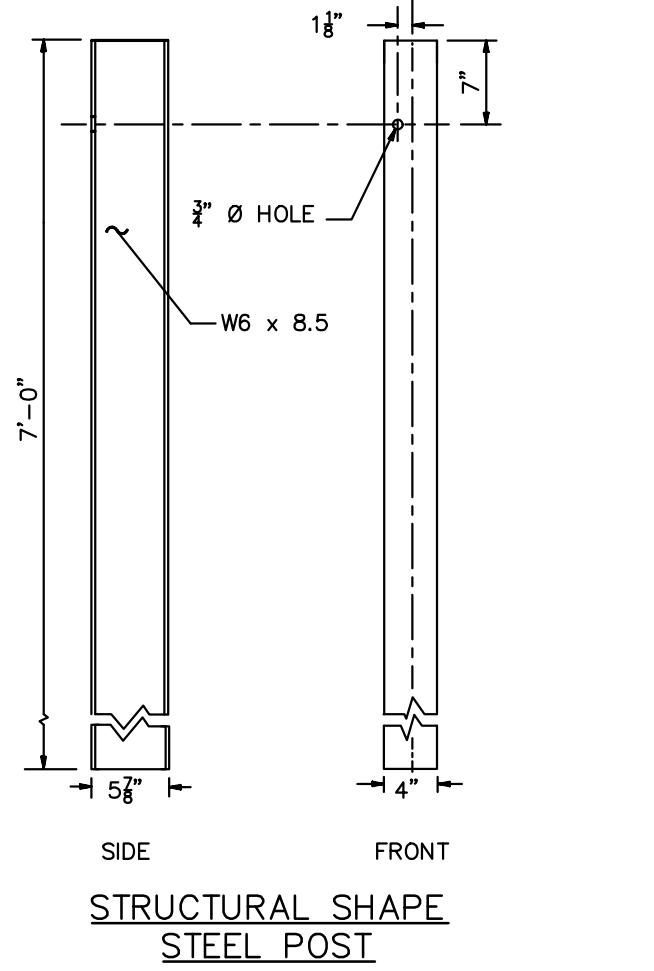
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MERRIMACK COUNTY

PROJECT:
MOUNTAIN TOP VENUE

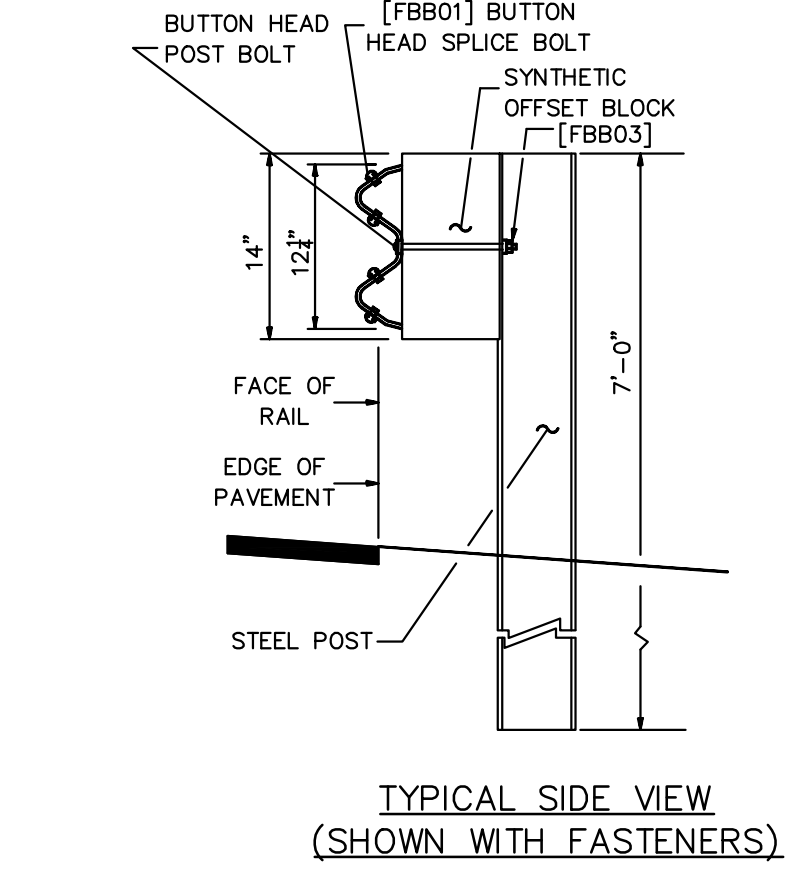
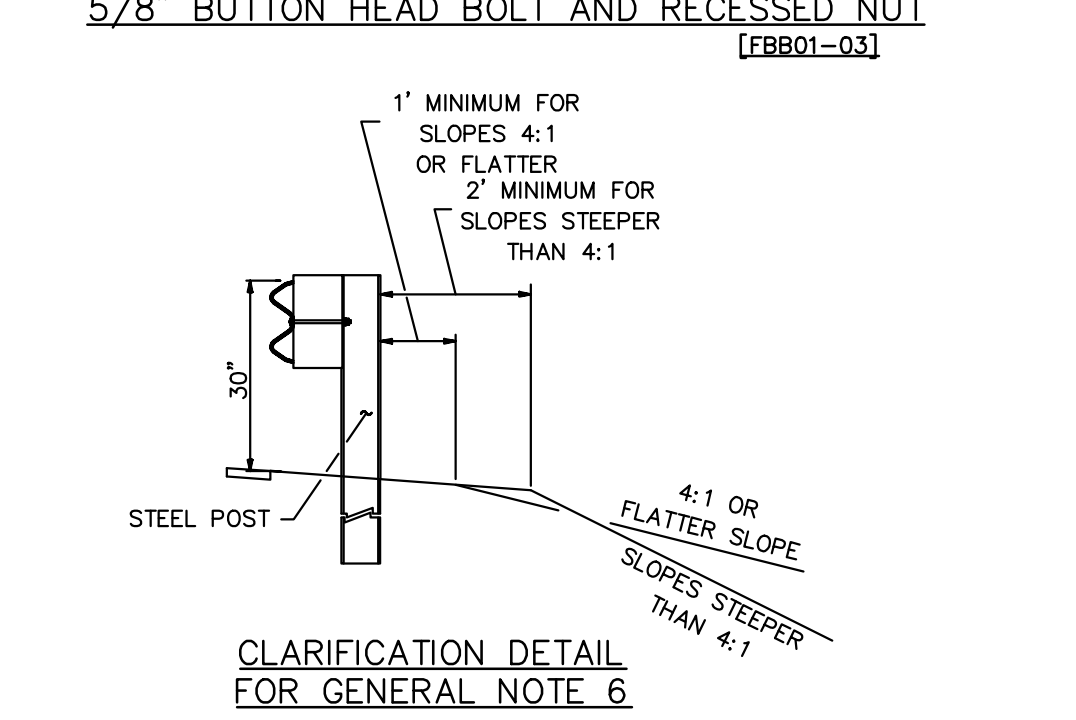
TITLE:
DETAILS



ITEM 606.120 - BEAM GUARDRAIL (STANDARD SECTION-STEEL POSTS)
 PAID: LINEAR FOOT
 USE: STRONG STEEL POST W-BEAM WITH SPLICE ON POST IS APPROPRIATE FOR REPAIRS OF EXISTING STRONG POST W-BEAM SPLICE ON POST GUARDRAIL RUNS OF LIMITED LENGTH OR SPECIFIC LOCATIONS WHERE USE OF 31\"/>



DESIGNATOR	L	T	INTENDED USE
FBB01	1 1/2"	FULL LENGTH THREAD	RAIL SPLICE BOLTS
FBB02	2"	1 1/2" MIN. THREAD LENGTH	POST BOLT (STEEL POSTS)
FBB03	9/4"	4" MIN. THREAD LENGTH	POST BOLT

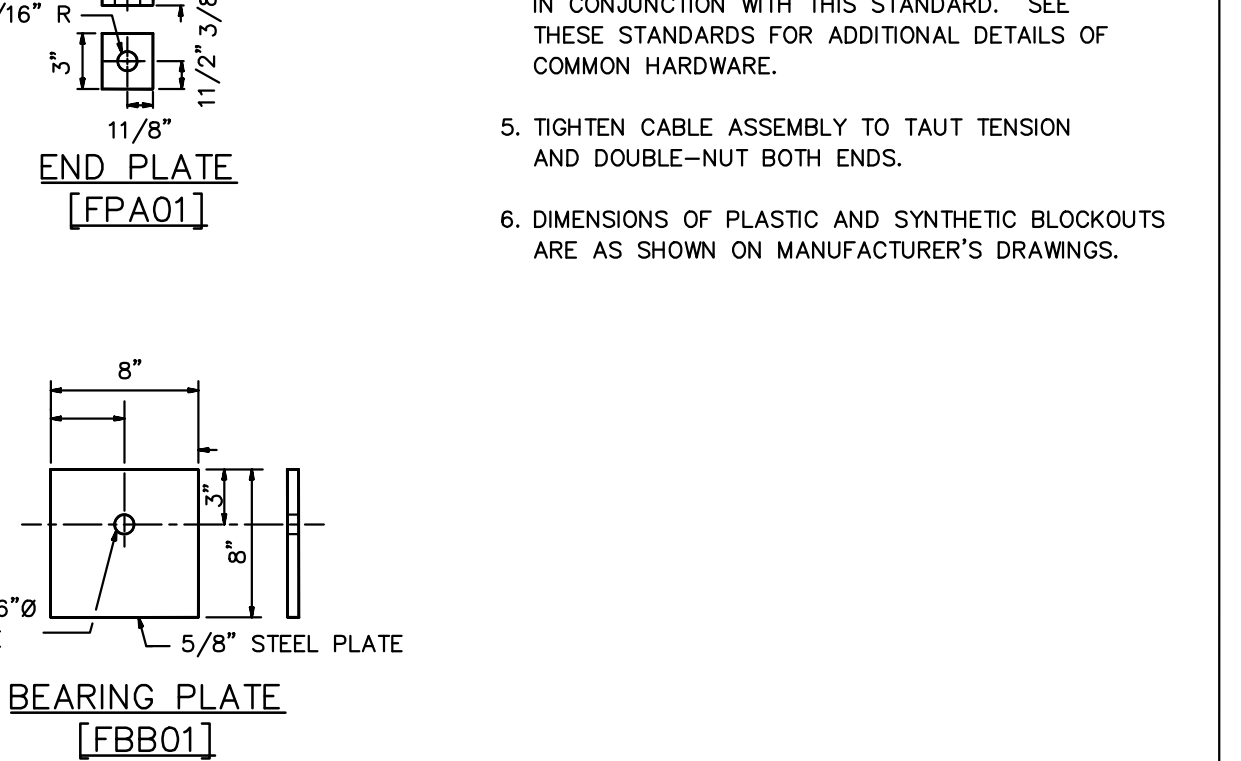
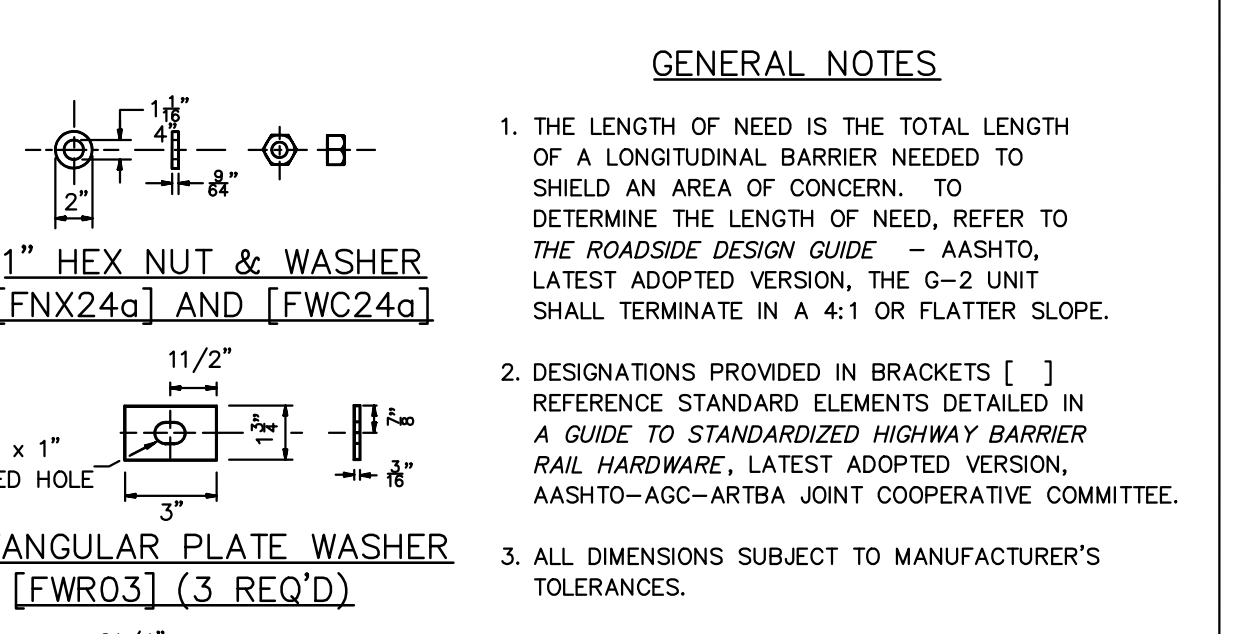
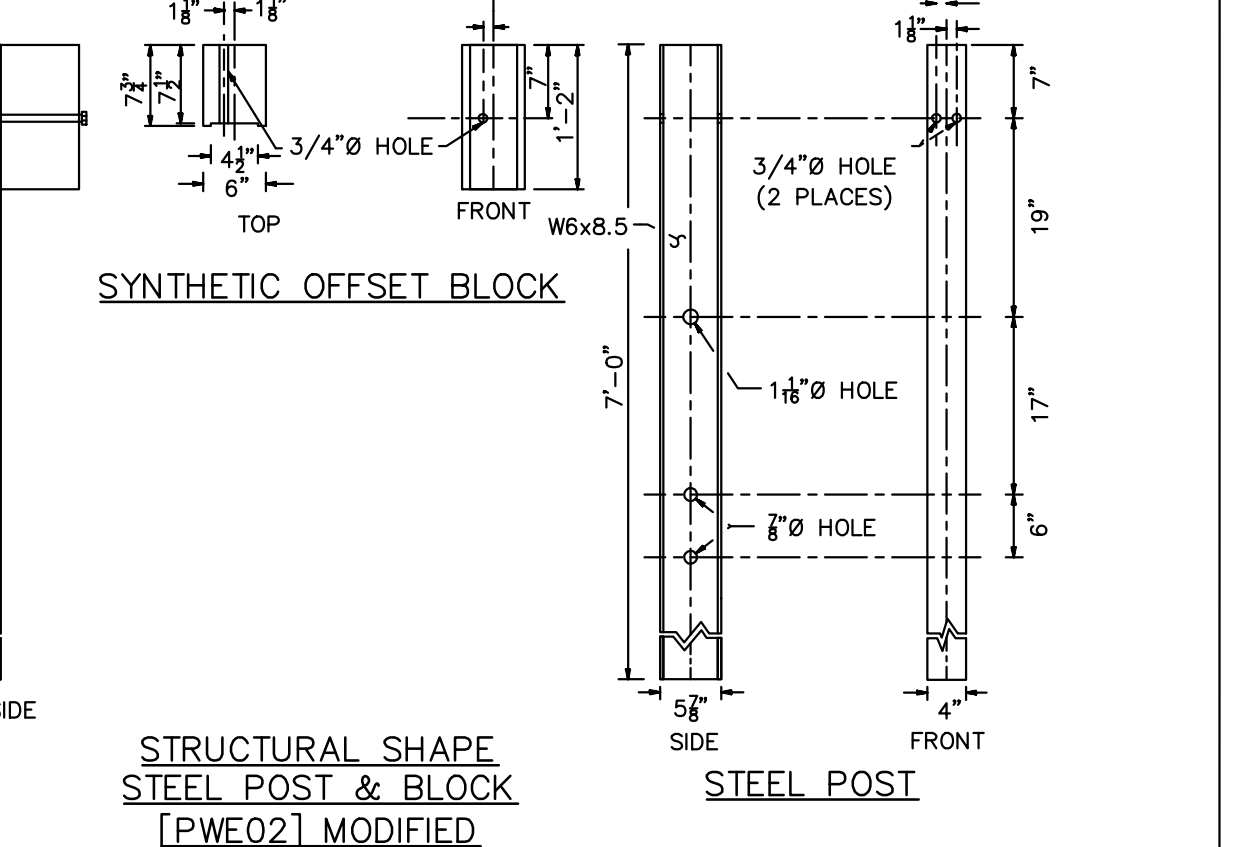
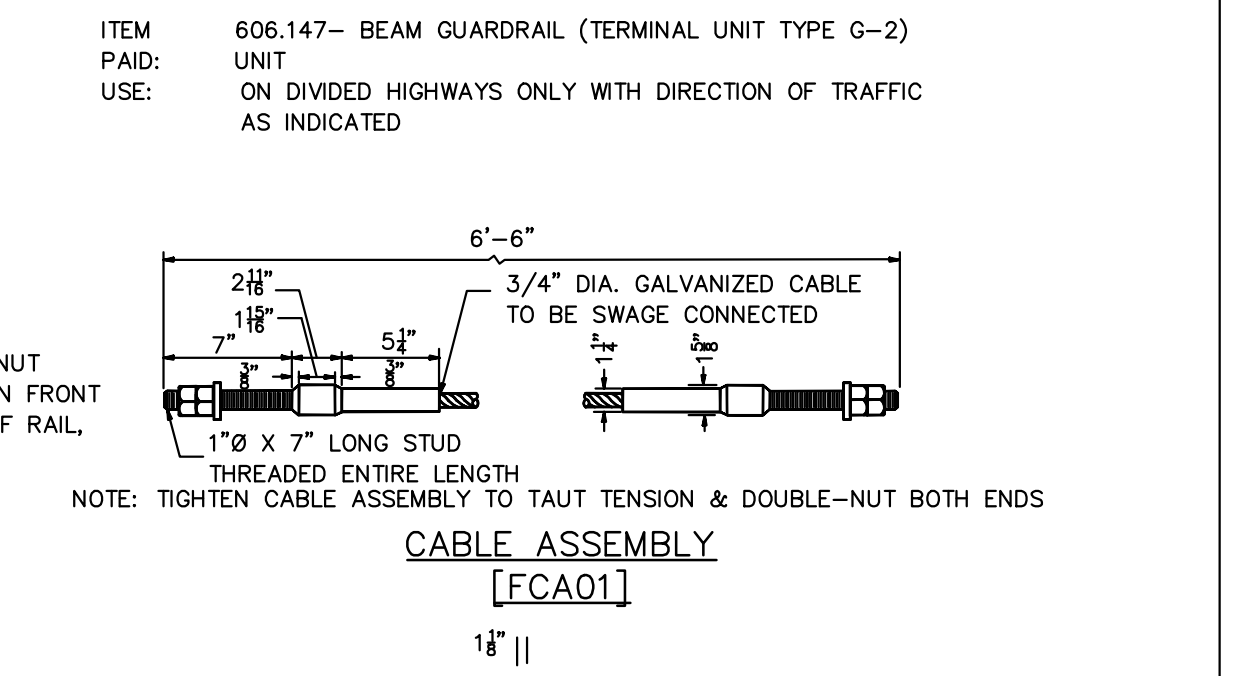
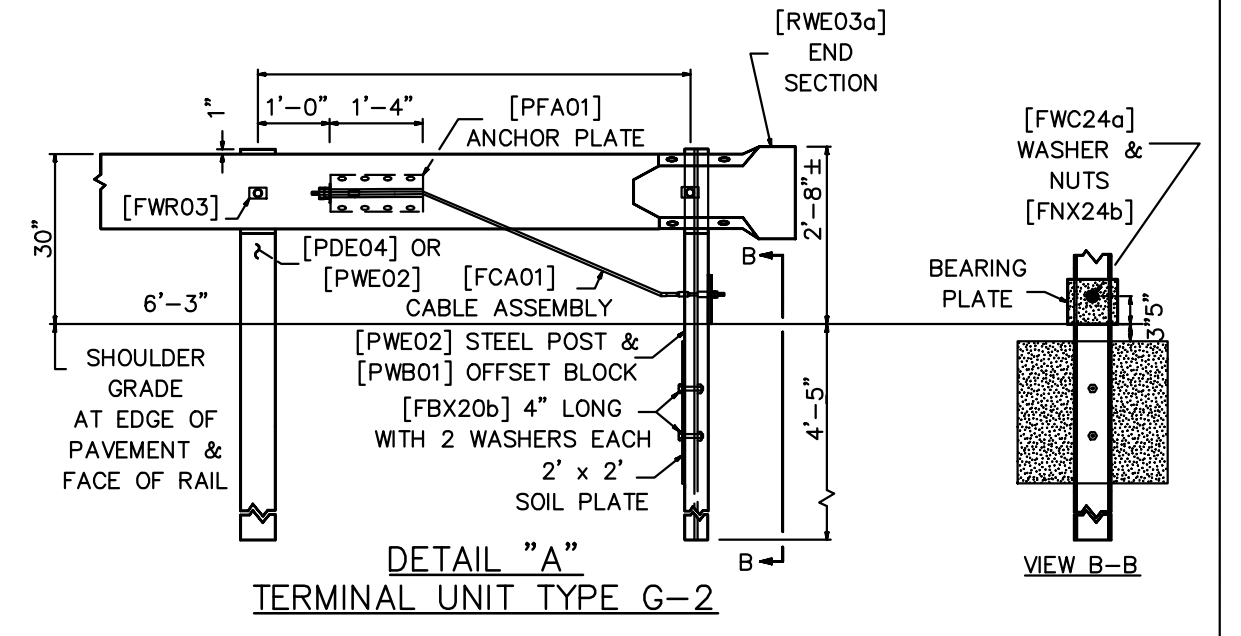
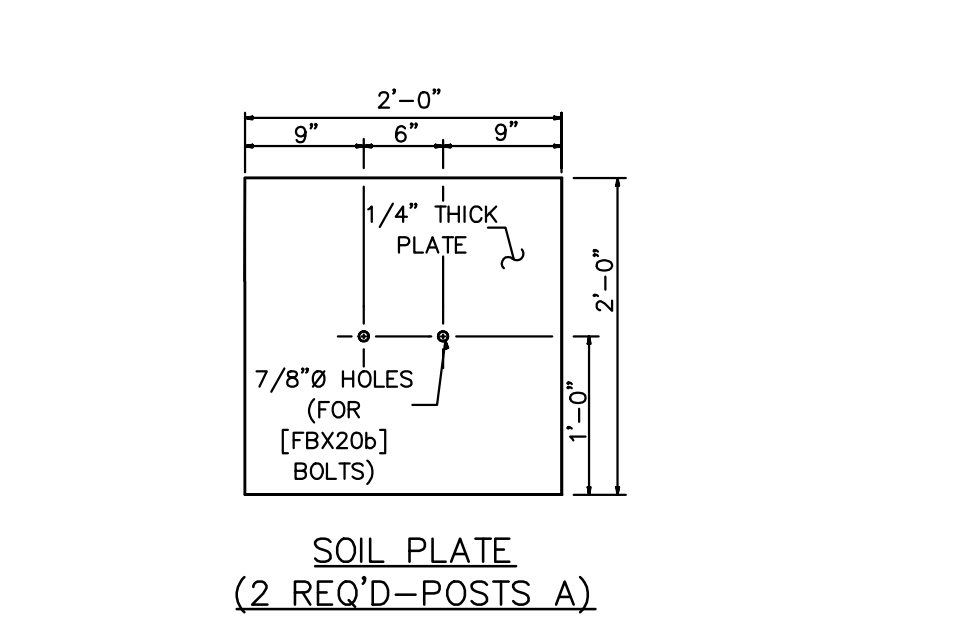
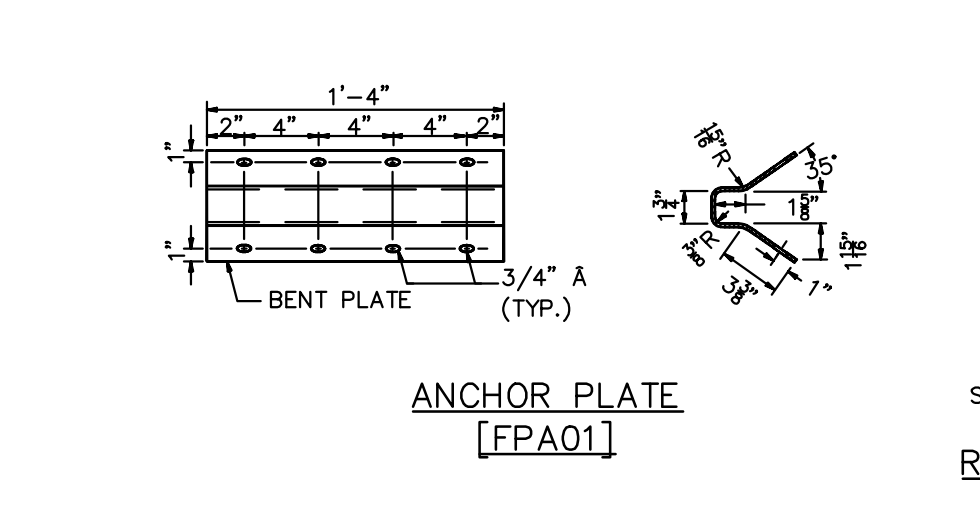
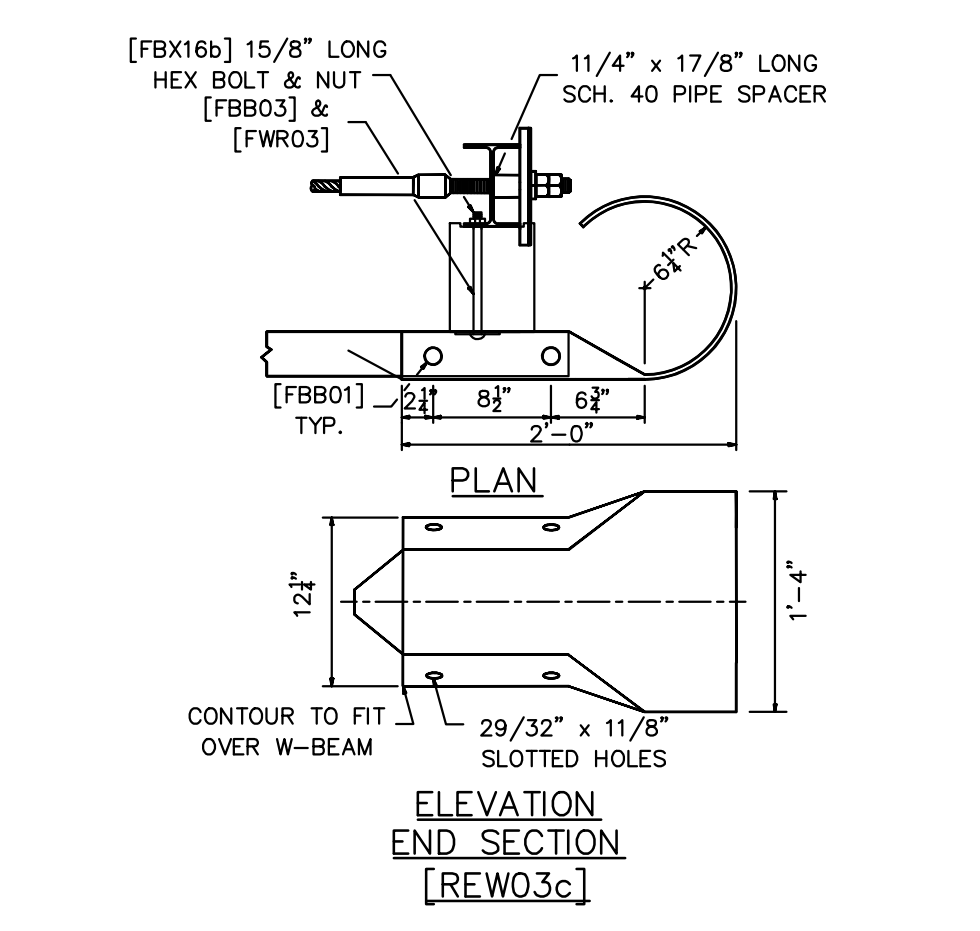
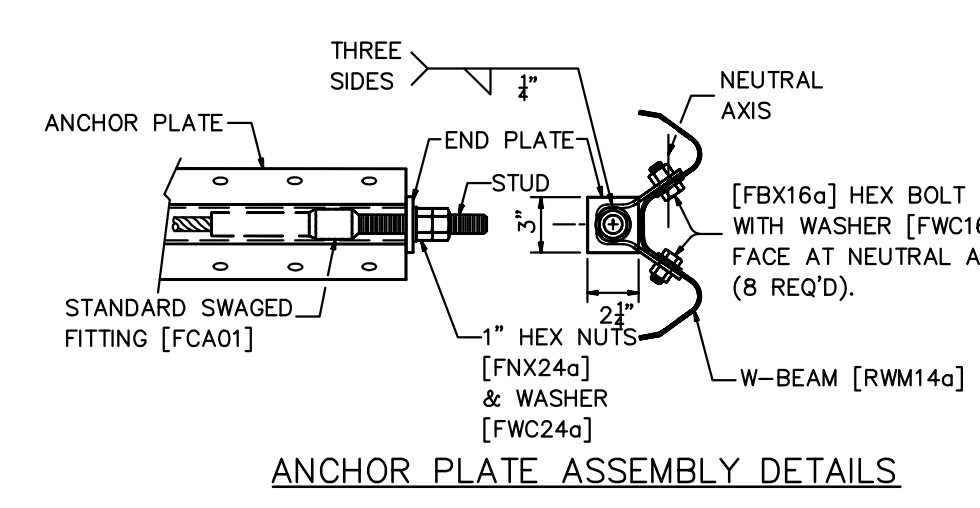
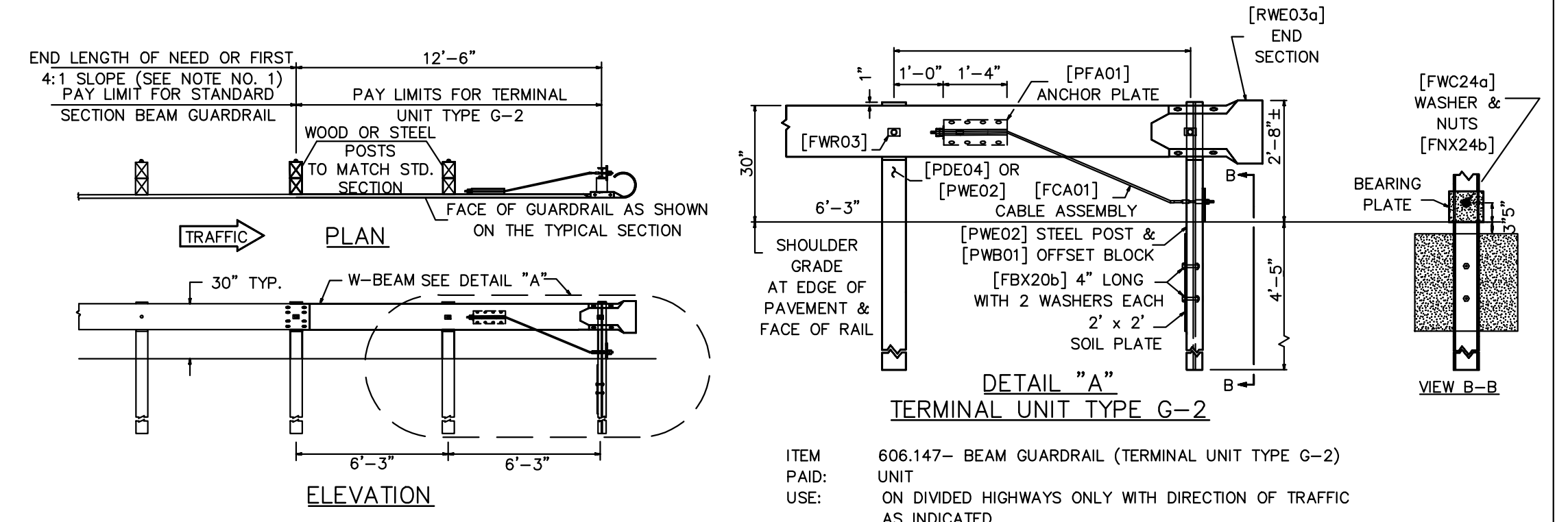


GENERAL NOTES

- THE DEFINITION OF ROADSIDE BARRIER IS PER THE LATEST AASHTO'S "A" GUIDE TO STANDARDIZED HIGHWAY BARRIER HARDWARE.
- ITEMS IN BRACKETS *STANDARD ELEMENTS* ARE DESCRIBED IN AASHTO'S "A" GUIDE TO STANDARDIZED HIGHWAY BARRIER HARDWARE.
- ONLY USE RECTANGULAR PLATE WASHERS [FWR03] WHERE SHOWN ON THE OTHER STANDARD SHEETS OR AS REQUIRED BY THE MANUFACTURERS FOR THEIR PROPRIETARY PRODUCTS.
- USE 12'-6" LENGTH RAIL ELEMENTS IN RAIL CURVES OF LESS THAN 100' RADIUS.
- ESTABLISH RAIL HEIGHT AS FOLLOWS:
 - SET THE HEIGHT OF RAIL FROM THE EDGE OF THE PAVEMENT (EP) WHEN THE FACE OF RAIL IS AT THE EDGE OF PAVEMENT.
 - SET THE HEIGHT OF RAIL FROM THE GROUND AT THE FACE OF RAIL WHEN:
 - THE FACE OF RAIL IS OFFSET FROM THE EP AND THE GROUND SLOPE FROM THE EP TO THE FACE OF RAIL IS 10:1 OR FLATTER OR
 - THE FACE OF RAIL IS AT THE BACK OF A CURBED SIDEWALK AND THE CURB IS AT THE EDGE OF PAVEMENT
 - WHEN SITUATIONS OTHER THAN THOSE DESCRIBED IN A OR B ABOVE ARE ENCOUNTERED, ESTABLISH RAIL HEIGHT THROUGH AN ENGINEERING REVIEW TO ENSURE APPROPRIATE SYSTEM PERFORMANCE.
- USE OF POSTS SHORTER THAN 7', BUT NOT LESS THAN 6'-0" LONG, IS ONLY ALLOWED UNDER THE FOLLOWING CONDITIONS:
 - WHERE THERE IS A MINIMUM DISTANCE OF 1' FROM THE BACK OF THE GUARDRAIL POST ALONG A 10:1 OR FLATTER SLOPE TO THE SLOPE BREAK OF A 4:1 OR FLATTER SLOPE
 - OR
 - WHERE THERE IS A MINIMUM DISTANCE OF 2' FROM THE BACK OF THE GUARDRAIL POST ALONG A 10:1 OR FLATTER SLOPE TO THE SLOPE BREAK OF A STEEPER THAN 4:1 STABLE SOIL OR STONE LINED SLOPE. THE TERM STABLE INCLUDES NOT SHOWING SIGNS OF SLOPE MOVEMENT (SUCH AS DEPRESSIONS, CRACKS PARALLEL TO THE ROADWAY, ETC.) OR ACTIVE EROSION.
- THE FHWA HAS LISTED OFFSET BLOCKS ON THEIR WEBSITE THAT ARE ELIGIBLE FOR FEDERAL PARTICIPATION PER NCHRP 350 TEST LEVEL 3 CRITERIA. OTHERS MAY BE ADDED UNDER MASH AT TEST LEVEL 3 OR HIGHER IN THE FUTURE. SOME OF THESE OFFSET BLOCKS HAVE OR MAY HAVE DIMENSIONS THAT VARY MORE THAN WOULD BE CONSIDERED WITHIN THE NORMAL CONTEXT OF NOMINAL DIMENSIONS. IN ORDER TO USE ANY OFFSET BLOCKS THAT HAVE OTHER THAN THE NOMINAL DIMENSIONS AS SHOWN ON THE PLANS, THE FOLLOWING APPLIES:
 - THE FACE OF RAIL SHALL REMAIN AT THE EDGE OF PAVEMENT OR AT THE INDICATED LOCATION AS SHOWN ON THE PLANS, AND
 - THE DISTANCE FROM THE BACK OF THE POST TO THE BREAK IN THE SLOPE SHALL NOT BE LESS THAN WHAT IS SHOWN ON THE PLANS BUT IT MAY BE MORE.
 - ALL OTHER REQUIREMENTS OF THE PERTINENT SPECIFICATIONS AND DETAILS REMAIN IN FORCE.

BEAM GUARDRAIL, STANDARD SECTION-STEEL POSTS & HARDWARE DETAILS

NOT TO SCALE

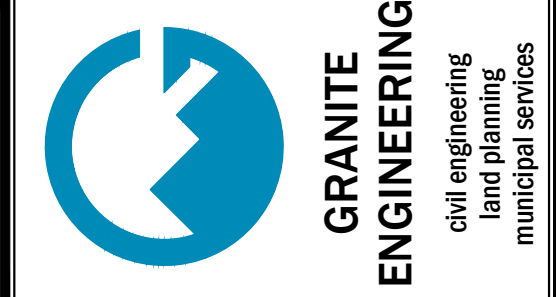


GENERAL NOTES

- THE LENGTH OF NEED IS THE TOTAL LENGTH OF A LONGITUDINAL BARRIER NEEDED TO SHIELD AN AREA OF CONCERN. TO DETERMINE THE LENGTH OF NEED, REFER TO THE *ROADSIDE DESIGN GUIDE* - AASHTO, LATEST ADOPTED VERSION, THE G-2 UNIT SHALL TERMINATE IN A 4:1 OR FLATTER SLOPE.
- DESIGNATIONS PROVIDED IN BRACKETS [] REFERENCE STANDARD ELEMENTS DETAILED IN A *GUIDE TO STANDARDIZED HIGHWAY BARRIER RAIL HARDWARE*, LATEST ADOPTED VERSION, AASHTO-AGC-ARTBA JOINT COOPERATIVE COMMITTEE.
- ALL DIMENSIONS SUBJECT TO MANUFACTURER'S TOLERANCES.
- STANDARDS NO. GR-1 (OR GR-2), SHALL BE USED IN CONJUNCTION WITH THIS STANDARD. SEE THESE STANDARDS FOR ADDITIONAL DETAILS OF COMMON HARDWARE.
- TIGHTEN CABLE ASSEMBLY TO TAUT TENSION AND DOUBLE-NUT BOTH ENDS.
- DIMENSIONS OF PLASTIC AND SYNTHETIC BLOCKOUTS ARE AS SHOWN ON MANUFACTURER'S DRAWINGS.

GUARDRAIL STANDARD, BEAM GUARDRAIL TERMINAL UNIT TYPE G-2

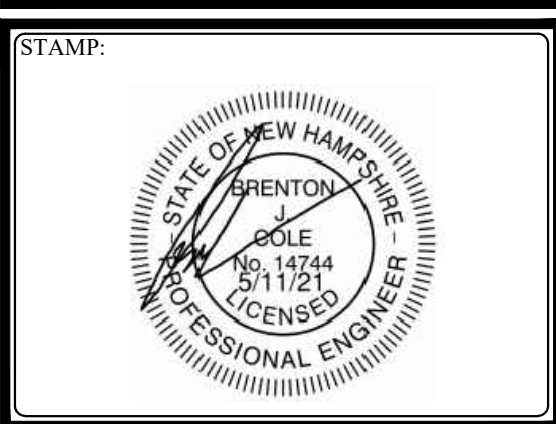
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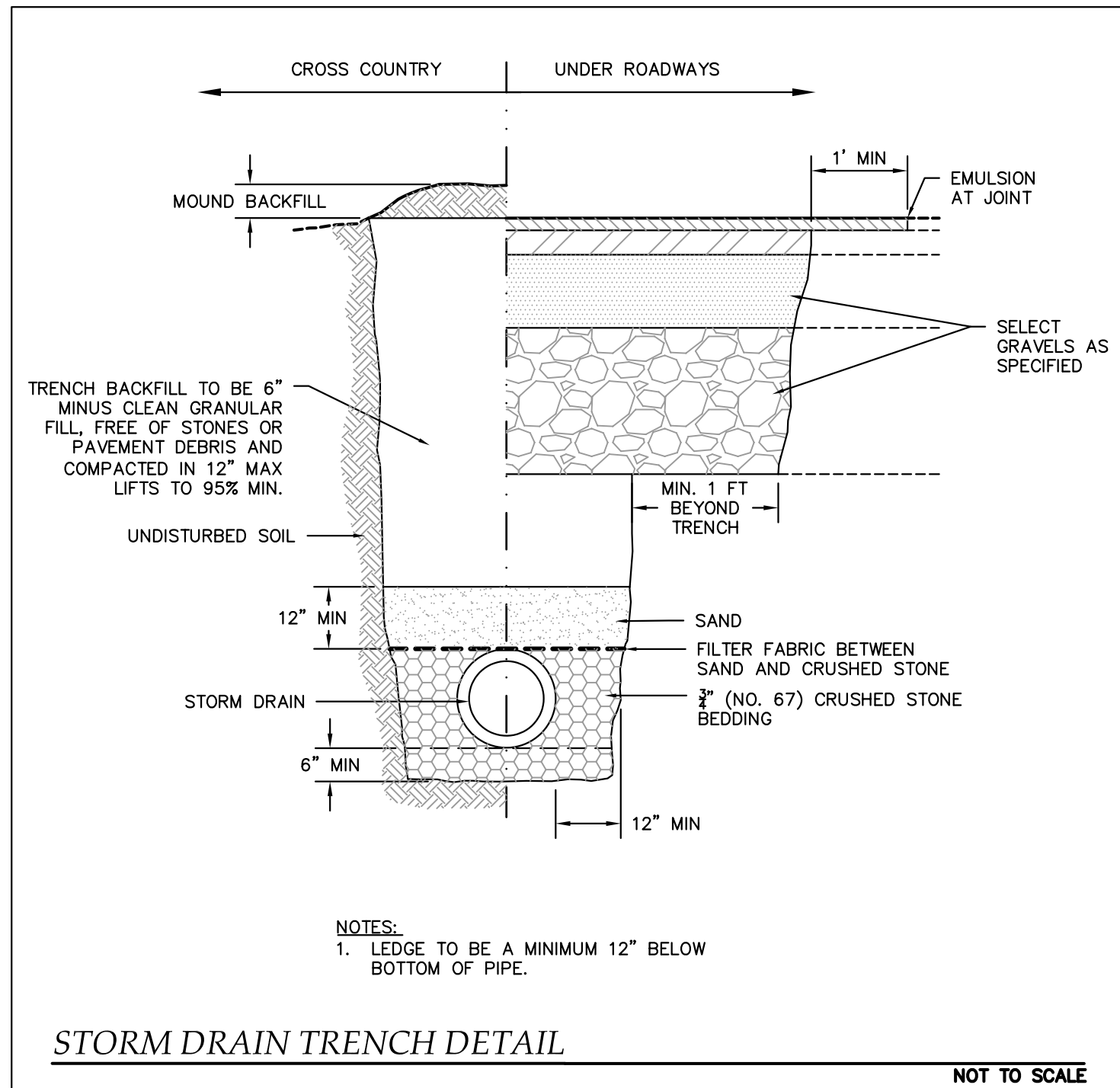
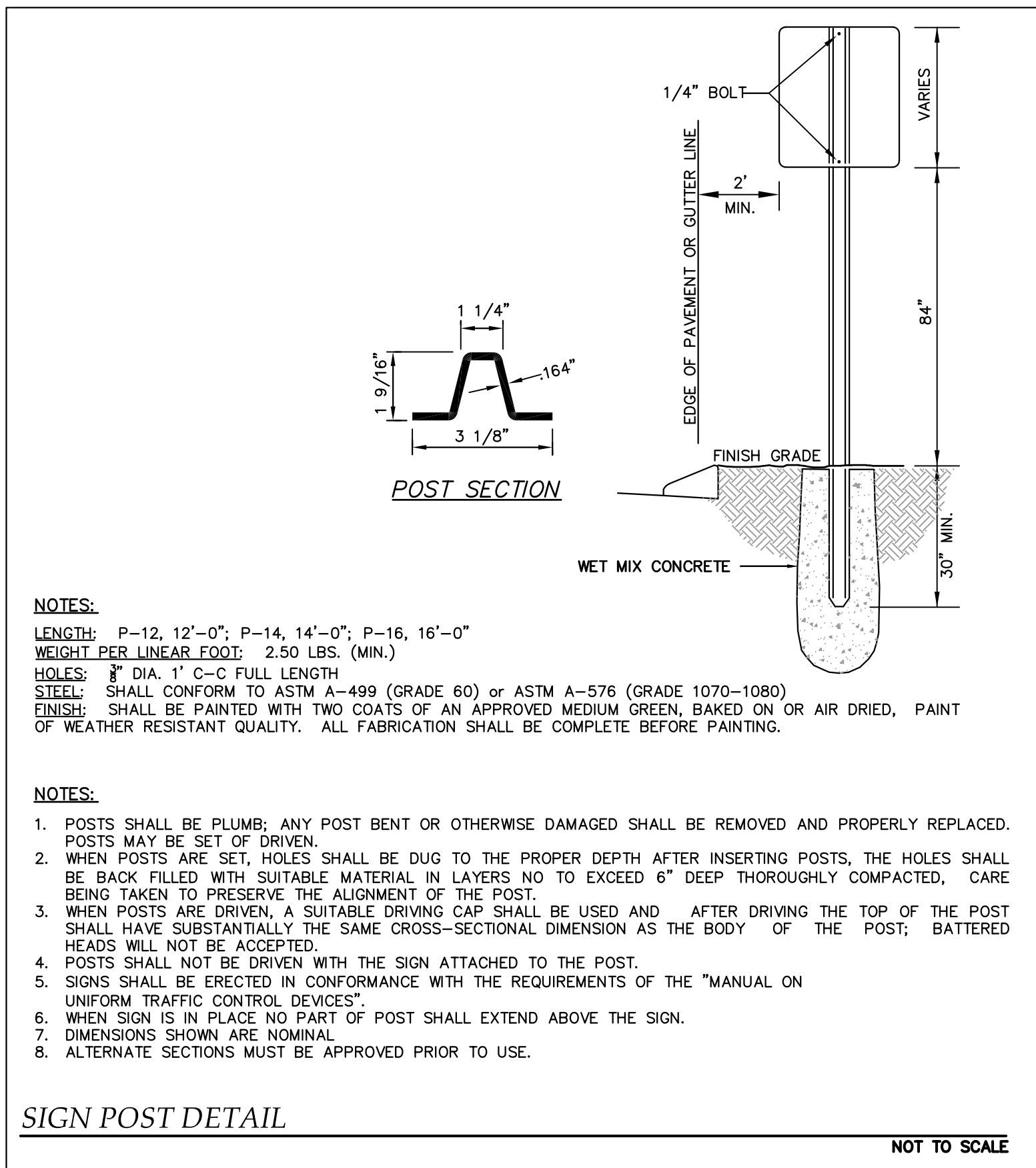
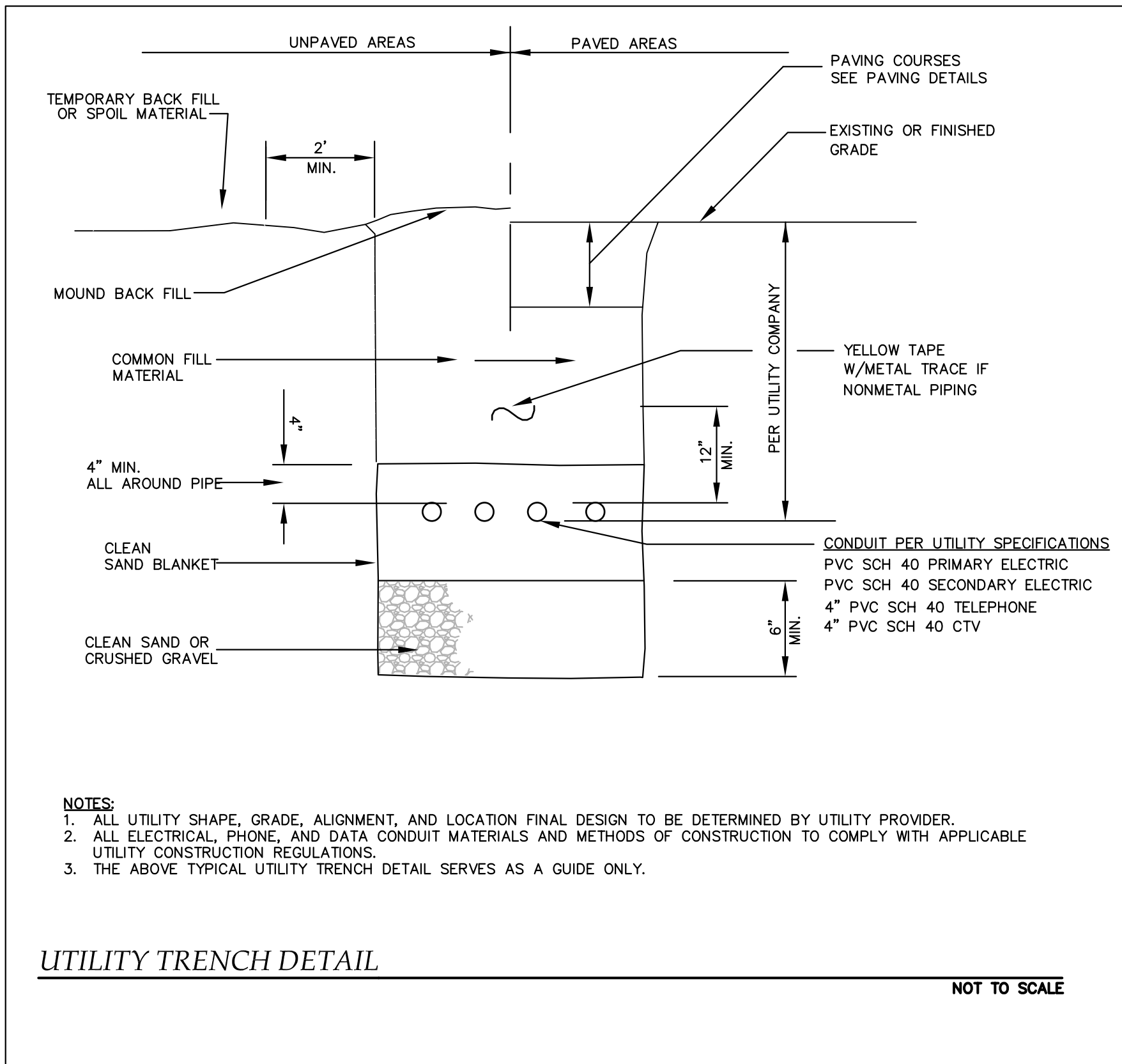
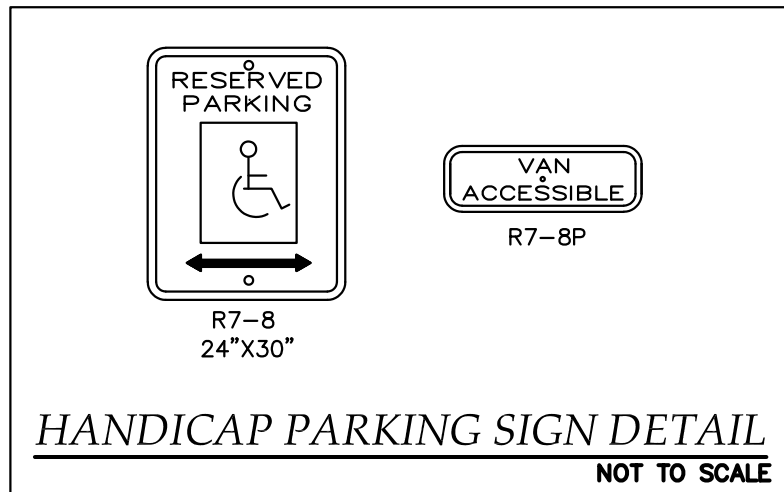
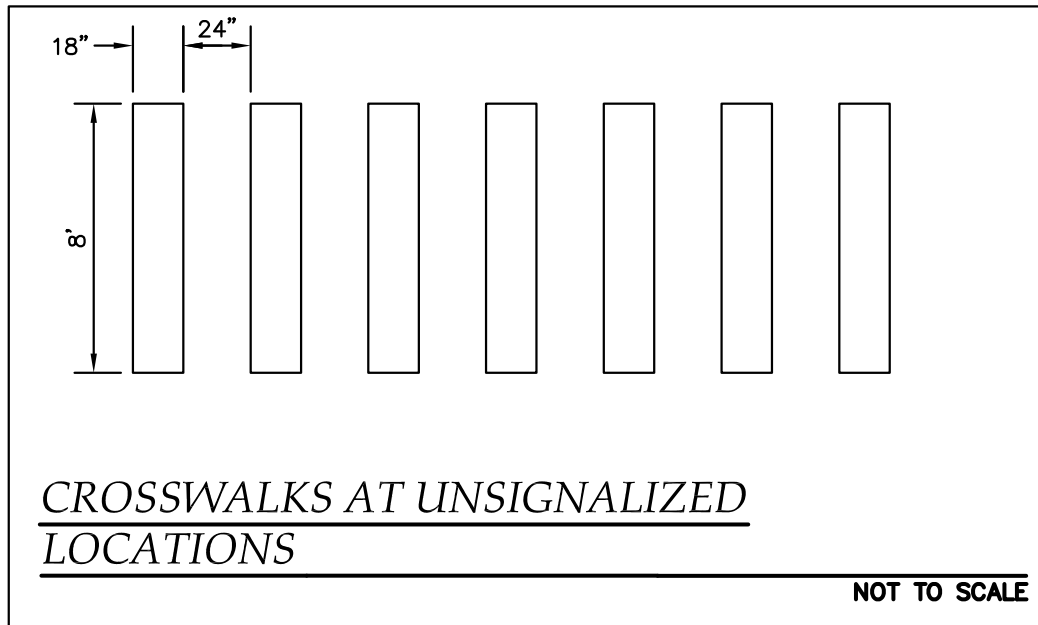
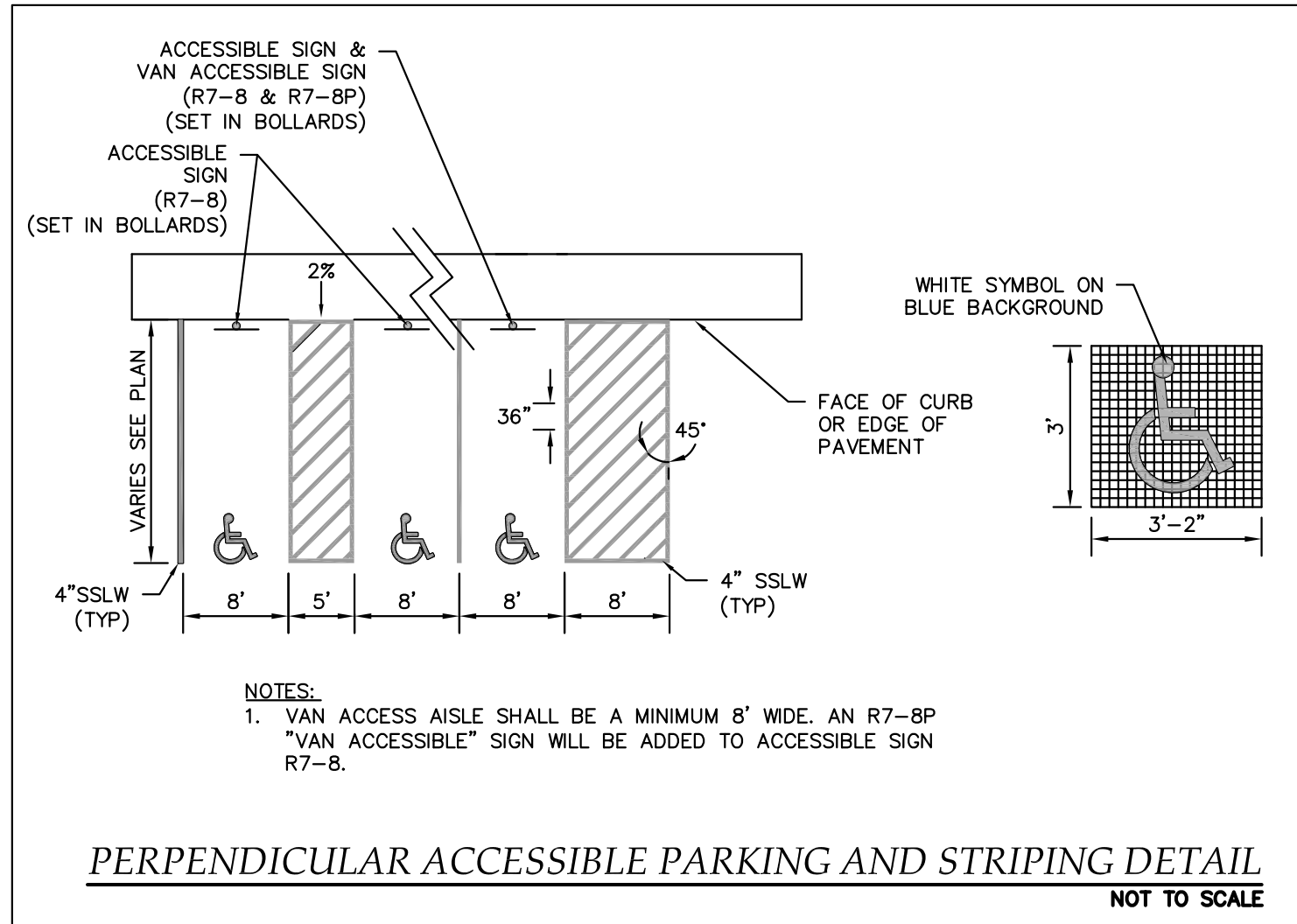
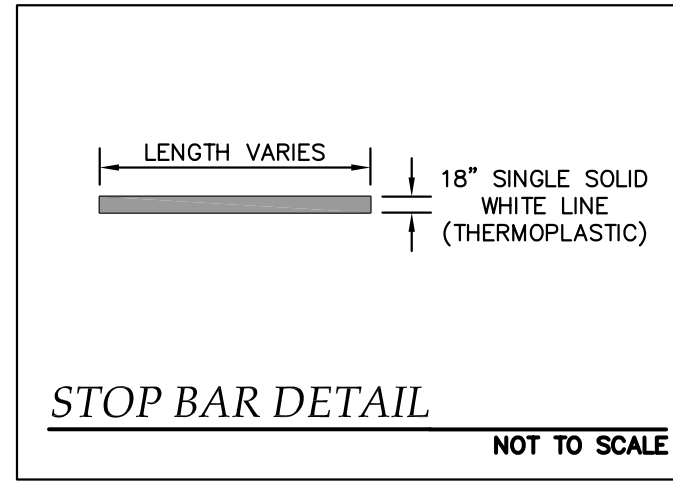
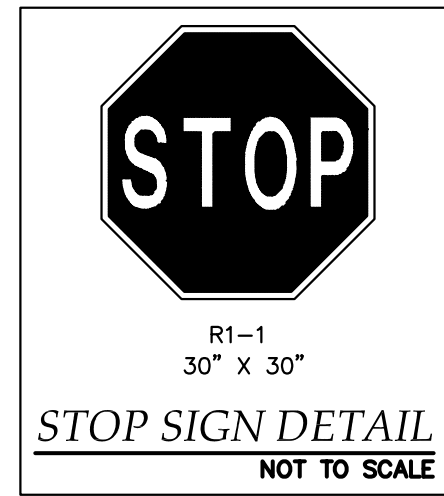


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MERRIMACK COUNTY

PROJECT:
MOUNTAIN TOP VENUE

TITLE:
DETAILS

PROJECT No. 20-0820-1 DATE: MAY 12, 2021 SCALE: AS SHOWN
 SHEET: 24 OF 31



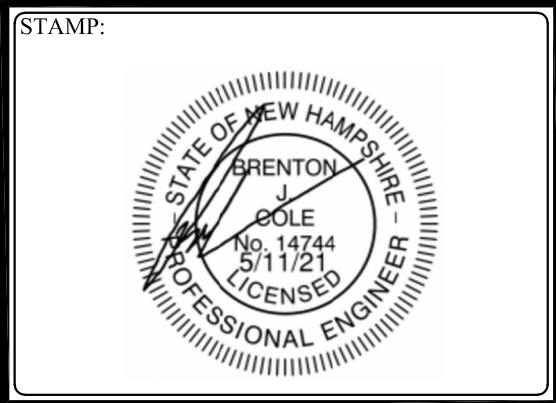
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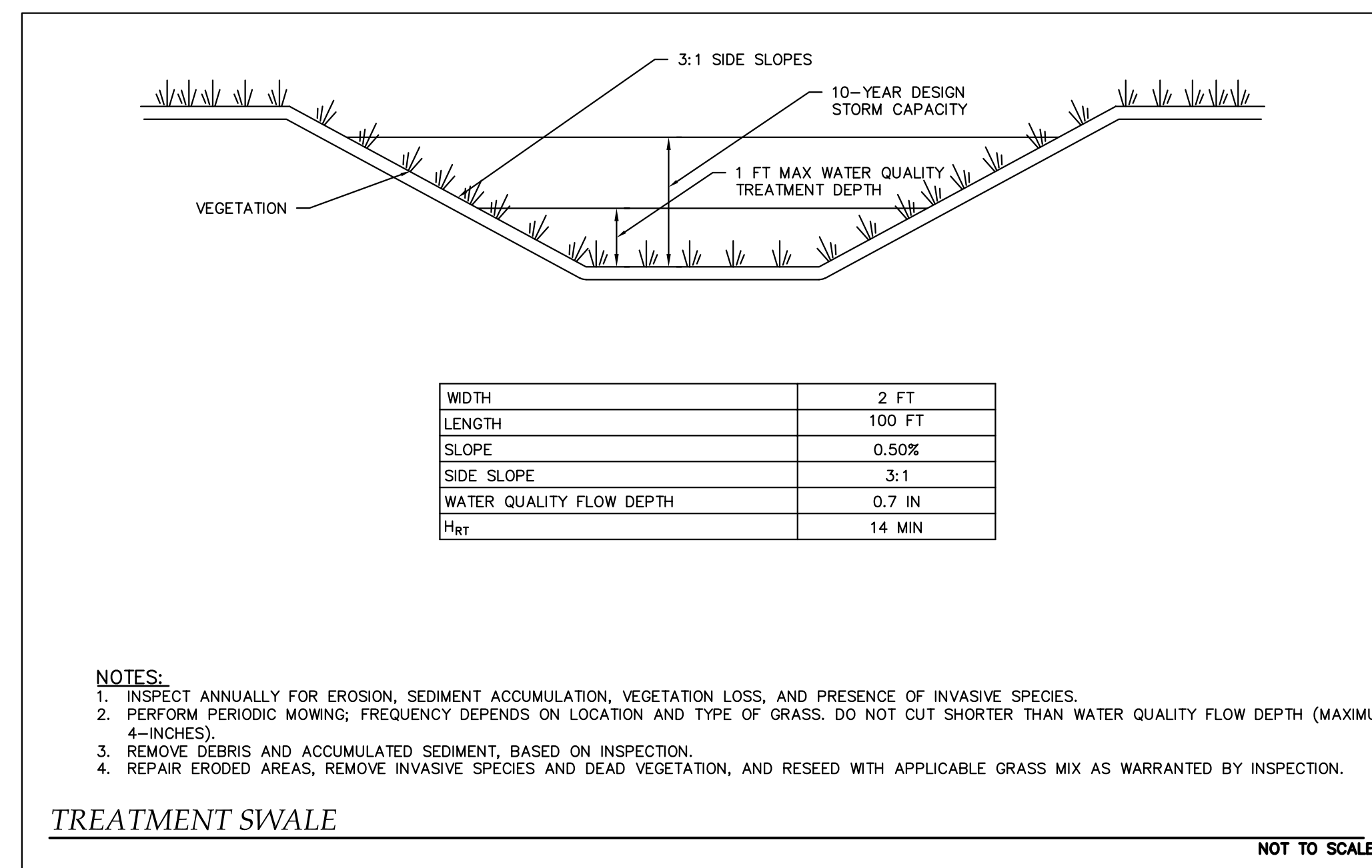
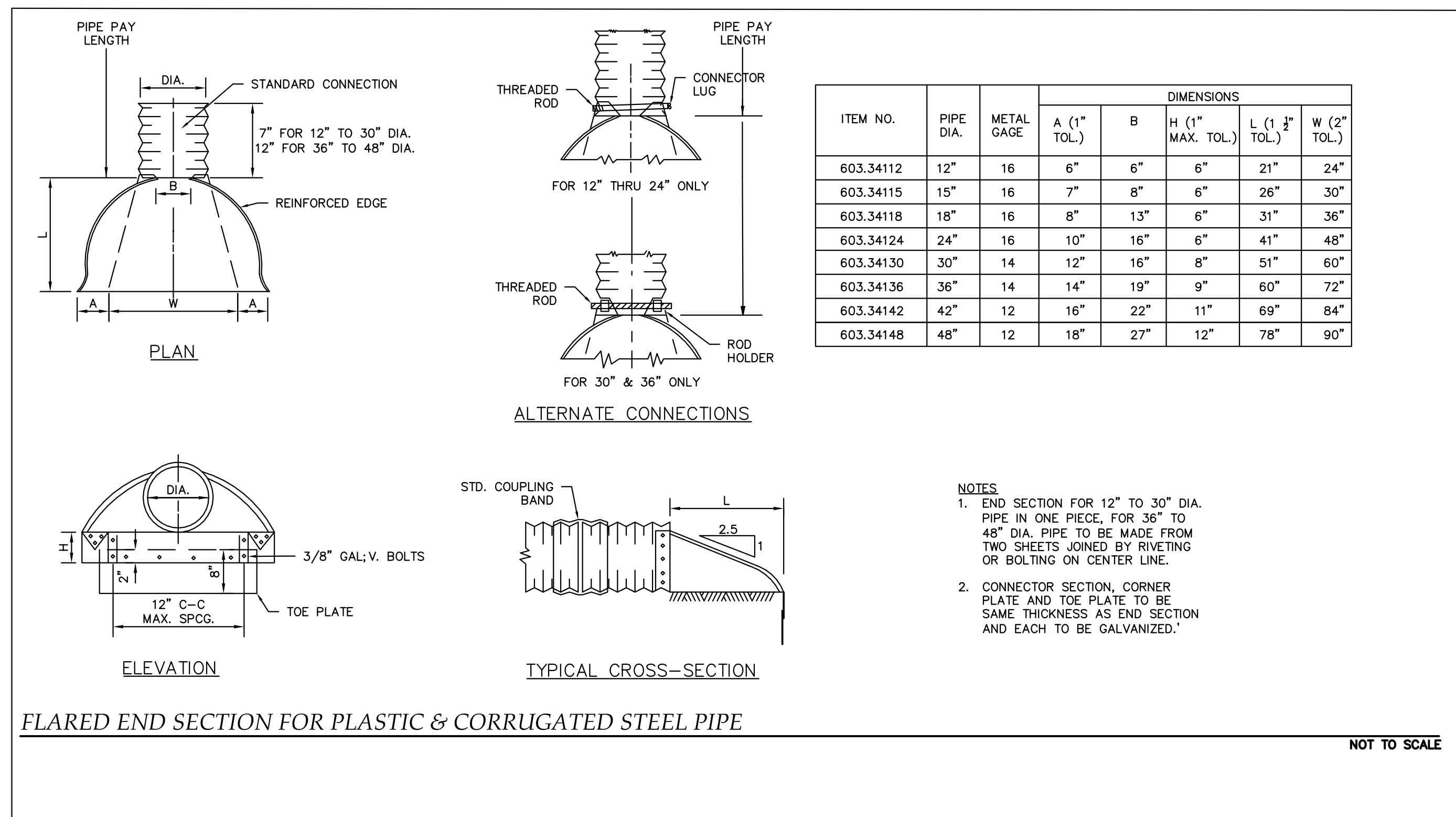
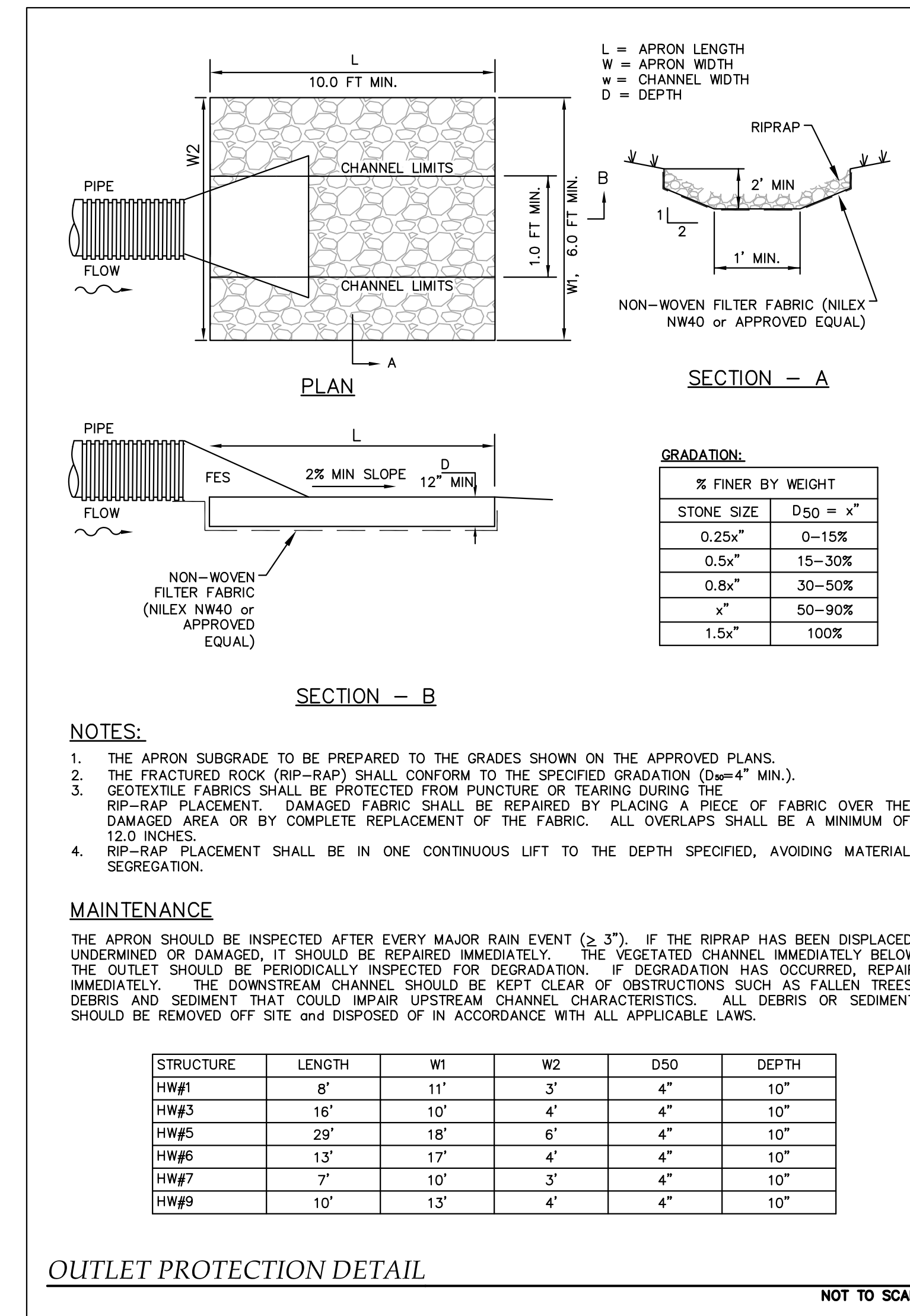
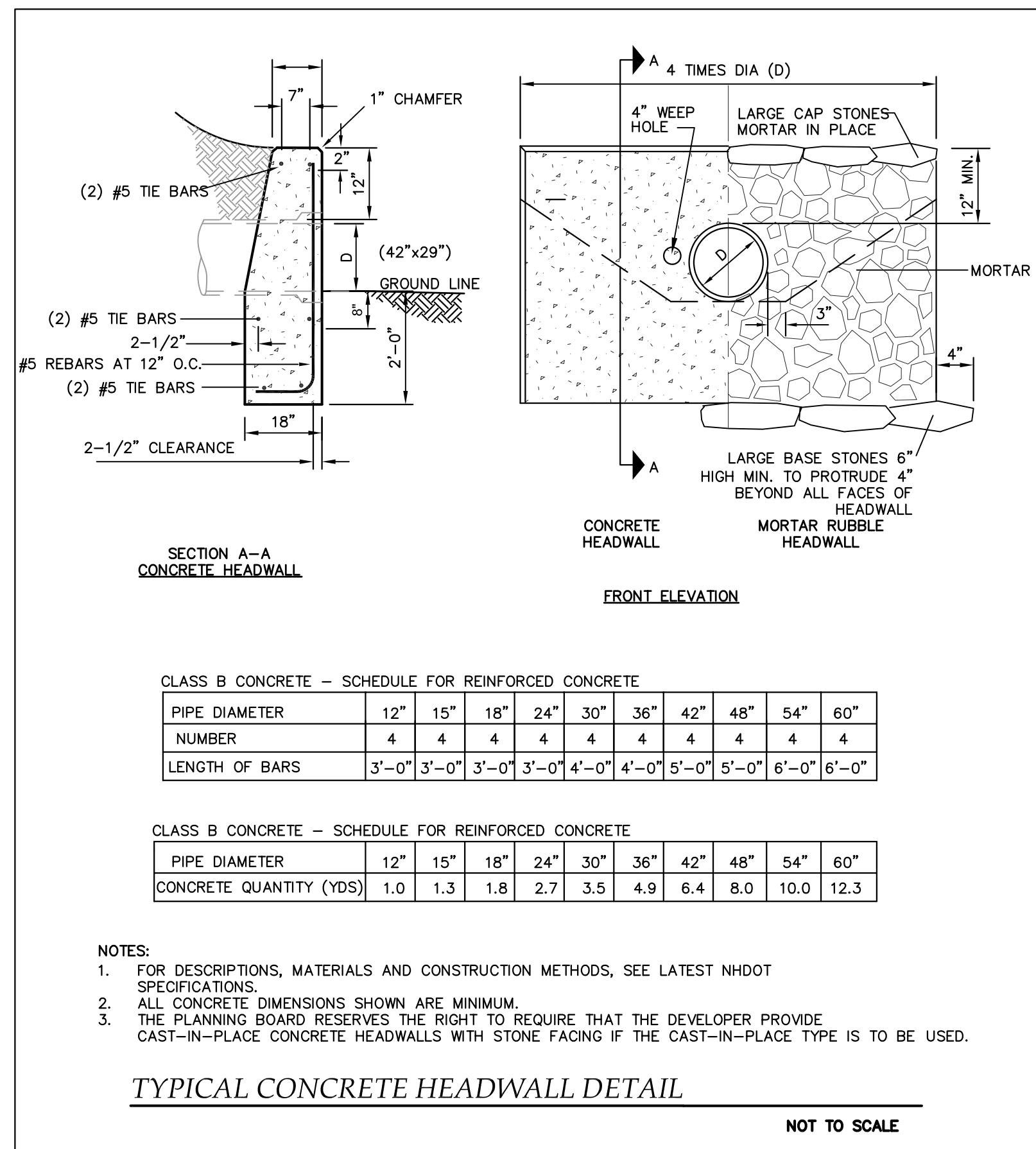
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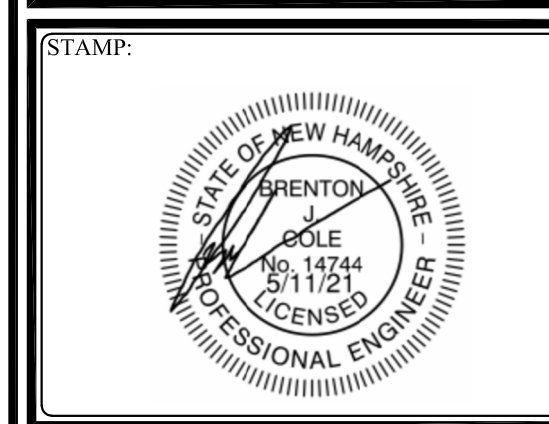
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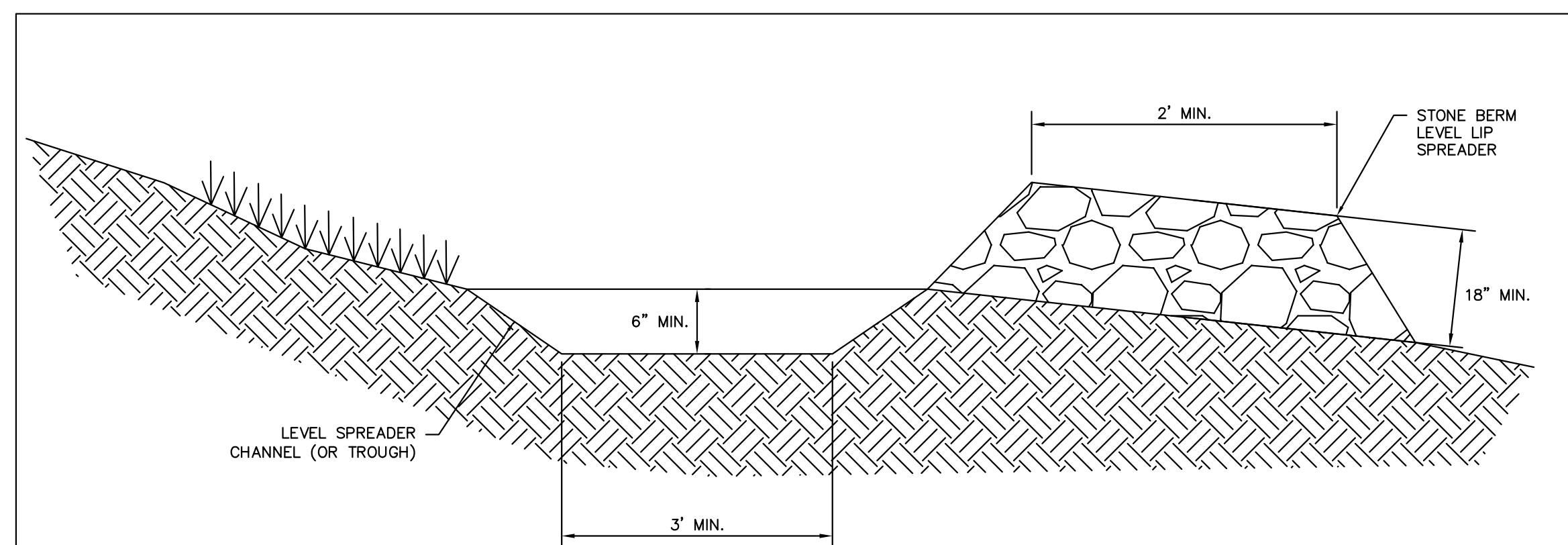
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PROJECT:
MOUNTAIN TOP VENUE

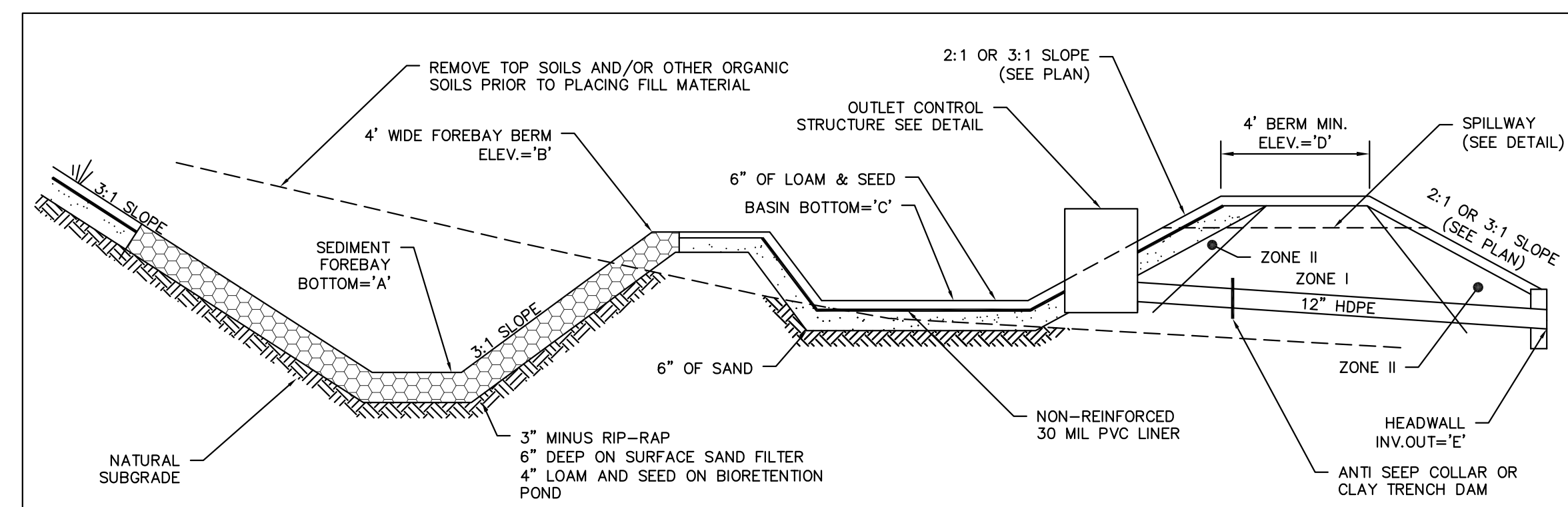
TITLE:
DETAILS



- CONSTRUCTION NOTES:**
- IT IS CRITICAL TO INSTALL LEVEL SPREADERS AT A ZERO PERCENT GRADE ALONG THE LENGTH OF THE DISCHARGE LIP. FLOW MUST DISCHARGE UNIFORMLY ALONG THE LENGTH OF THE SPREADER.
 - CARE MUST BE EXERCISED IN SITING THE SPREADER, SO THAT IT DISCHARGES ONTO A GENTLY SLOPING GRADE, WHERE RUNOFF EXITING THE SPREADER WILL NOT RE-CONCENTRATE AND CAUSE EROSION. A SLOPE THAT IS CONCAVE IN SHAPE (SUCH AS A SHALLOW SWALE) IS NOT SUITABLE FOR RECEIVING DISCHARGE FROM A LEVEL SPREADER. SUITABLE SLOPES ARE PLANAR OR CONVEX IN SHAPE, SO THAT FLOW WILL CONTINUE AS DISPERSED SHEET FLOW ACROSS THE SITE.
 - IT IS ESSENTIAL TO STABILIZE THE OUTLET LIP OF THE SPREADER, AND TO DISCHARGE ONTO A WELL STABILIZED RECEIVING AREA (PREFERABLY UNDISTURBED VEGETATION) TO PREVENT EROSION.
- MAINTENANCE NOTES:**
- INSPECT AT LEAST ONCE ANNUALLY FOR ACCUMULATION OF SEDIMENT AND DEBRIS AND FOR SIGNS OF EROSION WITHIN APPROACH CHANNEL, SPREADER CHANNEL OR DOWN-SLOPE OF THE SPREADER.
 - REMOVE DEBRIS WHENEVER OBSERVED DURING INSPECTION.
 - REMOVE SEDIMENT WHEN ACCUMULATION EXCEEDS 25% OF SPREADER CHANNEL DEPTH.
 - MOW AS REQUIRED BY LANDSCAPING DESIGN, AT A MINIMUM, MOW ANNUALLY TO CONTROL WOODY VEGETATION WITHIN THE SPREADER.
 - SNOW SHOULD NOT BE STORED WITHIN OR DOWN-SLOPE OF THE LEVEL SPREADER OR ITS APPROACH CHANNEL.
 - REPAIR ANY EROSION AND RE-GRADE OR REPLACE STONE BERM MATERIAL, AS WARRANTED BY INSPECTION.
 - RECONSTRUCT THE SPREADER IF DOWN-SLOPE CHANNELIZATION INDICATES THAT THE SPREADER IS NOT LEVEL OR THAT DISCHARGE HAS BECOME CONCENTRATED AND CORRECTIONS CANNOT BE MADE THROUGH MINOR RE-GRADING.

LEVEL SPREADER DETAIL

NOT TO SCALE



PRACTICE	'A'	'B'	'C'	'D'	'E'
DP#1	762.0	766.0	765.0	770.0	764.0
DP#2	824.0	826.0	824.0	830.0	822.0

- NOTES:**
- CONTRACTOR TO NOTIFY DIG-SAFE 72 HOURS PRIOR TO START OF CONSTRUCTION
 - CLEAR AND CUT THE AREA TO THE NECESSARY EXTENT. CONTRACTOR TO PROPERLY DISPOSE OF ALL DEBRIS.
 - ALL SILTATION AND TEMPORARY EROSION CONTROLS MEASURES SHALL BE INSTALLED AS CALLED FOR ON PROJECT PLANS PRIOR TO GRUBBING OF CLEARED AREAS.
 - CONTRACTOR TO COMPLETE GRUBBING AND PROPERLY DISPOSE OF ALL DEBRIS. STOCKPILE ORGANIC MATERIAL SUITABLE FOR USE AS TOPSOIL IN UPLAND AREAS. ALL STOCKPILES TO BE SEED AND, IF NECESSARY, SURROUNDED WITH HAY BALES TO PREVENT LOSSES DUE TO EROSION.
 - CONSTRUCT TEMPORARY CULVERTS AS NECESSARY FOR CONSTRUCTION ACTIVITIES. ALL CROSSINGS TO BE PROTECTED BY HAY BALE BARRIERS TO PREVENT EROSION.
 - CONSTRUCT CUT-OFF TRENCH (PART OF ZONE I).
 - CONSTRUCT OUTLET AND OVERFLOW STRUCTURE, CULVERT, ANTI SEEP COLLARS, HEADWALL, AND RIP RAP OUTLET PROTECTION AS SHOWN ON PLANS AND DETAILS.
 - CONSTRUCT ZONE I PORTION OF EARTH EMBANKMENT.
 - CONSTRUCT ZONE II PORTION OF EARTH EMBANKMENT.
 - APPLY TOPSOIL TO SLOPES AND OTHER AREAS OF DISTURBANCE BY CONSTRUCTION. TOPSOIL MAY BE NATIVE ORGANIC MATERIAL SCREENED SO AS TO BE FREE OF ALL DELETERIOUS MATERIAL. TOPSOIL SHALL BE A MINIMUM OF 4-INCHES OF COMPACTED THICKNESS. UPON PLACEMENT ON TOPSOIL, FINISHED AREAS ARE TO BE LIMED, SEED AND MULCHED. CONSTRUCTION PERSONNEL SHALL INSPECT COMPLETED SECTIONS OF WORK ON A REGULAR BASIS AND REMEDY ALL PROBLEM AREAS UNTIL GRASS HAS BECOME ESTABLISHED.
 - MAINTAIN, REPAIR AND REPLACE TEMPORARY EROSION CONTROL MEASURES AS NECESSARY UNTIL THE WHOLE CONSTRUCTION ARE HAS BEEN STABILIZED (MINIMUM ONE WINTER).
 - REMOVE AND SUITABLY DISPOSE OF TEMPORARY EROSION CONTROL MEASURES AFTER STABILIZATION.
 - MONITOR CONSTRUCTION ACTIVITIES TO INSURE THEY ARE PERFORMED IN SUCH WAYS AS TO NOT ENDANGER THE INTEGRITY OF EARTH EMBANKMENTS, STORMWATER CONTROL, STRUCTURE, CULVERT AND RIP RAP OUTLET PROTECTION.

MATERIAL TYPE/SPECIFICATIONS

ZONE I:
WELL GRADED MIXTURE OF GRAVEL, SAND, SILT OR CLAY WITH MAX. 6-INCH SIZE STONES AND GRADATION AS INDICATED BELOW. PLACE IN MAX. 12-INCH THICK LIFTS TO 95% OF MAX. DRY DENSITY IN ACCORDANCE WITH ASTM D1557. SCARIFY SURFACE PRIOR TO PLACING SUBSEQUENT LIFT. IN ADDITION REMOVE ORGANIC SOILS.

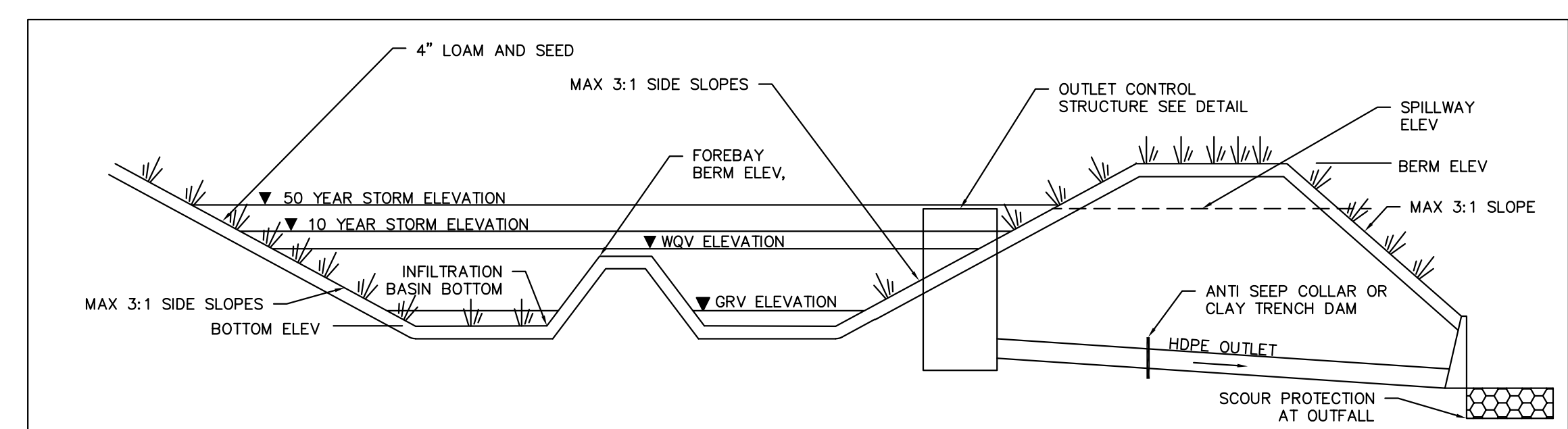
SIEVE SIZE	% BY WEIGHT PASSING
6-INCH	100
NO. 4	50-100
NO. 40	30-70
NO. 200	20-40

ZONE II:
DRAINAGE LAYER: PLACE IN MAX. 12-INCH THICK LIFTS TO 95% OF MAX DRY DENSITY IN ACCORDANCE WITH ASTM D1557

SIEVE SIZE	% BY WEIGHT PASSING
1-INCH	100
NO. 4	70-100
NO. 200	0-12 (IN SAND PORTION ONLY)

ABOVE-GROUND DETENTION POND DETAIL

NOT TO SCALE



PRACTICE	PROPOSED BASIN BOTTOM	EXISTING GRADE AT TP	TP DEPTH TO ESHWT	ESHWT ELEV. AT TP	SEPARATION TO ESHWT	FOREBAY BERM ELEVATION	BERM ELEV.	GRV. ELEV.	WQV ELEV.	10 YEAR STORM ELEV.	50 YEAR STORM ELEV.	SPILLWAY ELEV.
IP#1	966.00	961.23 (TP#8)	2.00'	959.23	6.77'	969.00	970.00	966.34	966.88	968.32	969.00	969.50
IP#2	609.00	614.98 (TP#1)	9.00'	605.98	3.02'	613.00	616.00	611.01	612.76	614.60	615.86	615.50

- NOTES:**
- DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO PERMANENT INFILTRATION BMPs.
 - DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.
 - AFTER THE BASIN IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.
 - IMMEDIATELY AFTER CONSTRUCTING THE BASIN, STABILIZE ITS BOTTOM AND SIDE SLOPES WITH A DENSE TURF OF WATER-TOLERANT GRASS. USE LOW-MAINTENANCE, RAPIDLY GERMINATING GRASSES, SUCH AS FESCUES.
 - DO NOT PLACE INFILTRATION SYSTEMS INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

ABOVE-GROUND INFILTRATION POND DETAIL

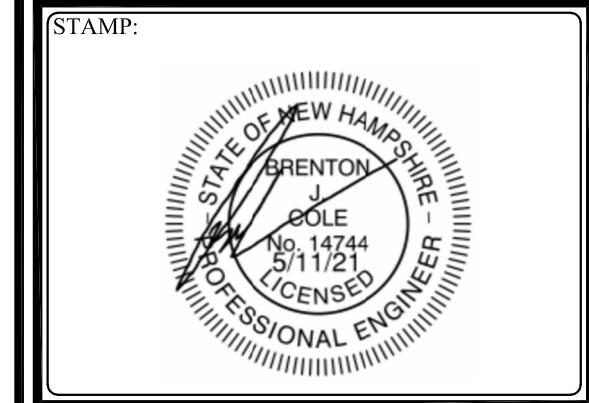
NOT TO SCALE

NO.	DATE	REVISIONS
0	05/12/2021	PROJECT SUBMITTAL

OWNER/APPLICANT:
BIG WHITE DOG, LLC
155 GROVE STREET
WESTWOOD, MA 02090

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LOCATION:
TAX MAP 1 LOTS 743 & 744-A
2226 WEARE ROAD
HENNIKER, NEW HAMPSHIRE
MERRIMACK COUNTY

PROJECT:
MOUNTAIN TOP VENUE

TITLE:
DETAILS

PROJECT No. 20-0820-1 DATE: MAY 12, 2021 SCALE: AS SHOWN
SHEET: 27 OF 31

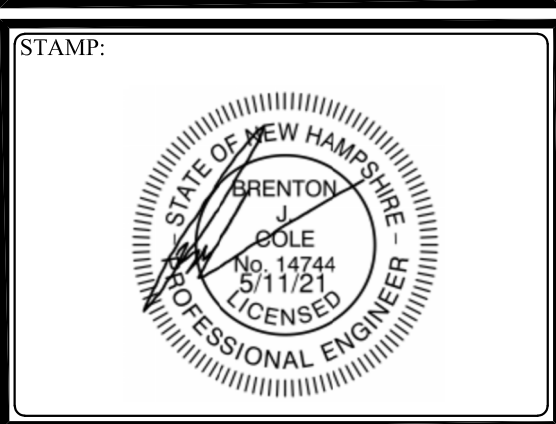
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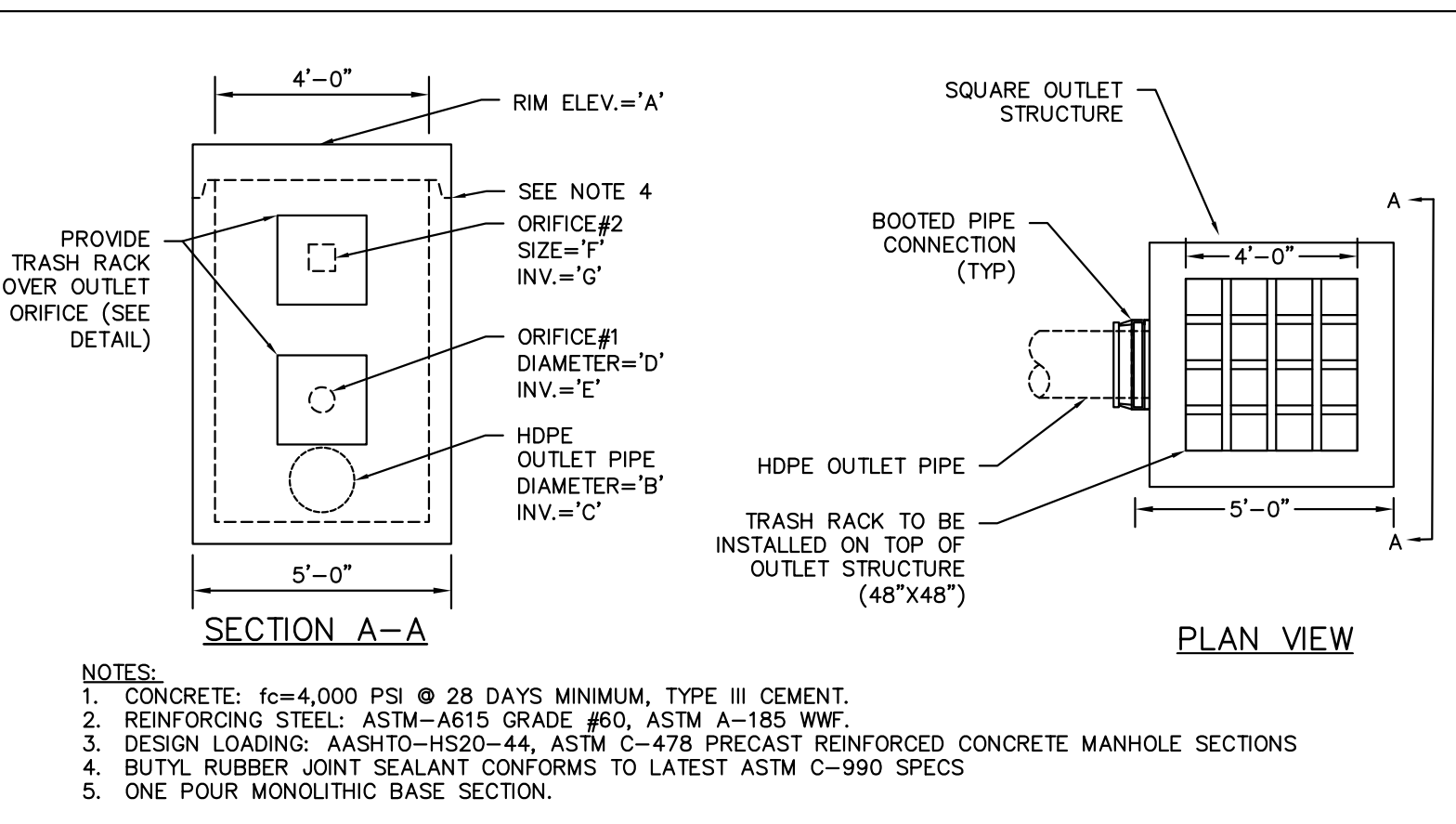
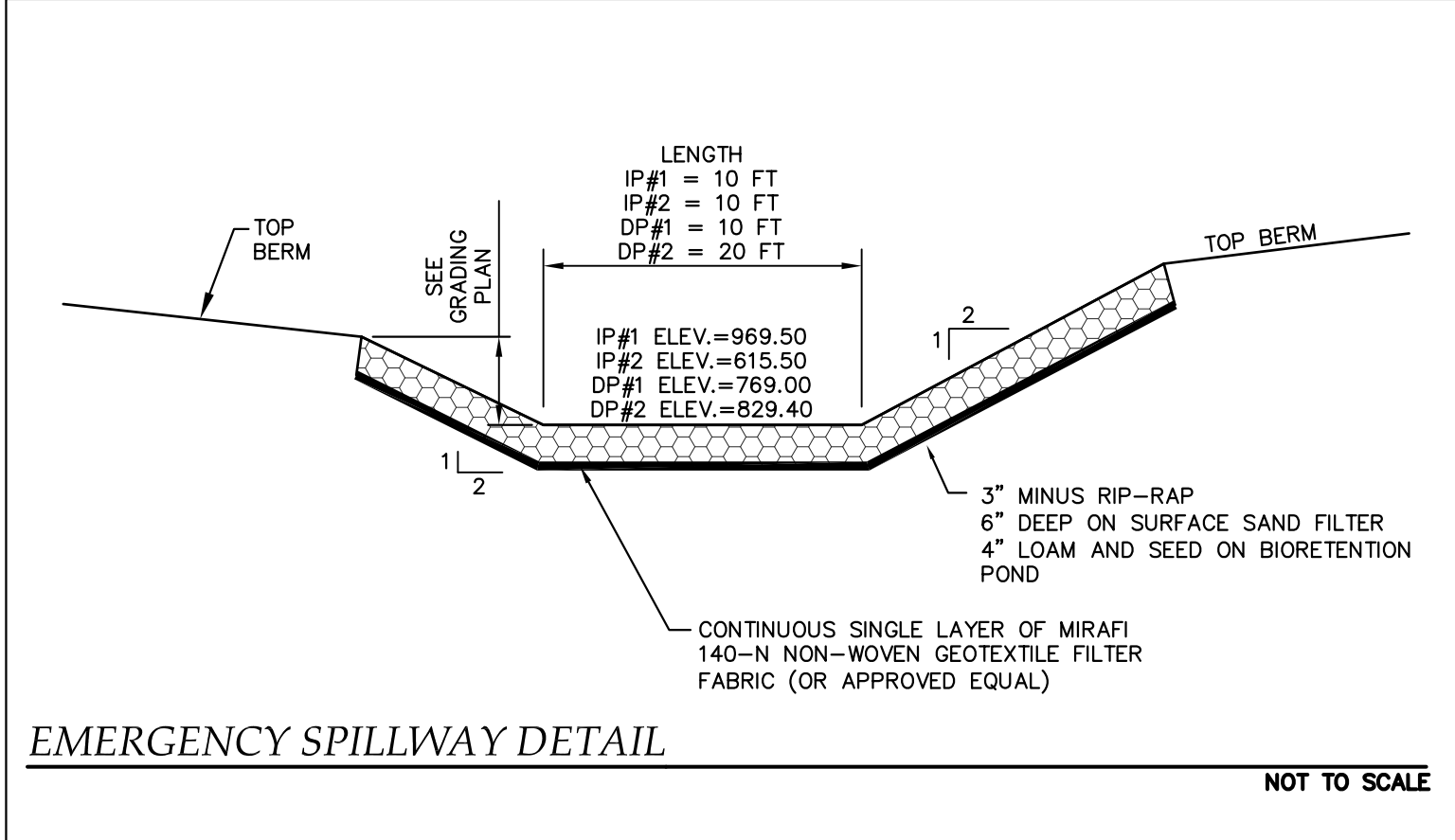


LOCATION:
**TAX MAP 1 LOTS 743 & 744-A
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MERRIMACK COUNTY**

PROJECT:
MOUNTAIN TOP VENUE

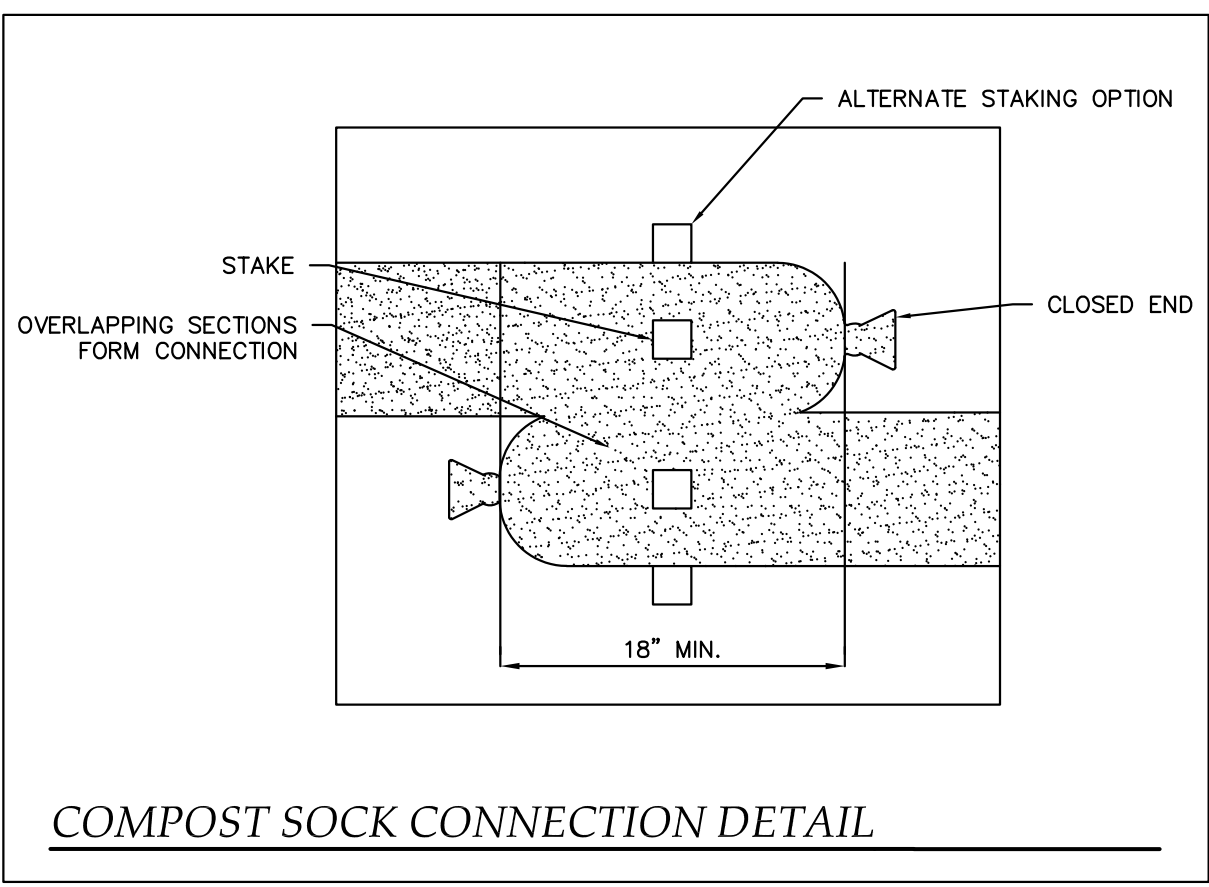
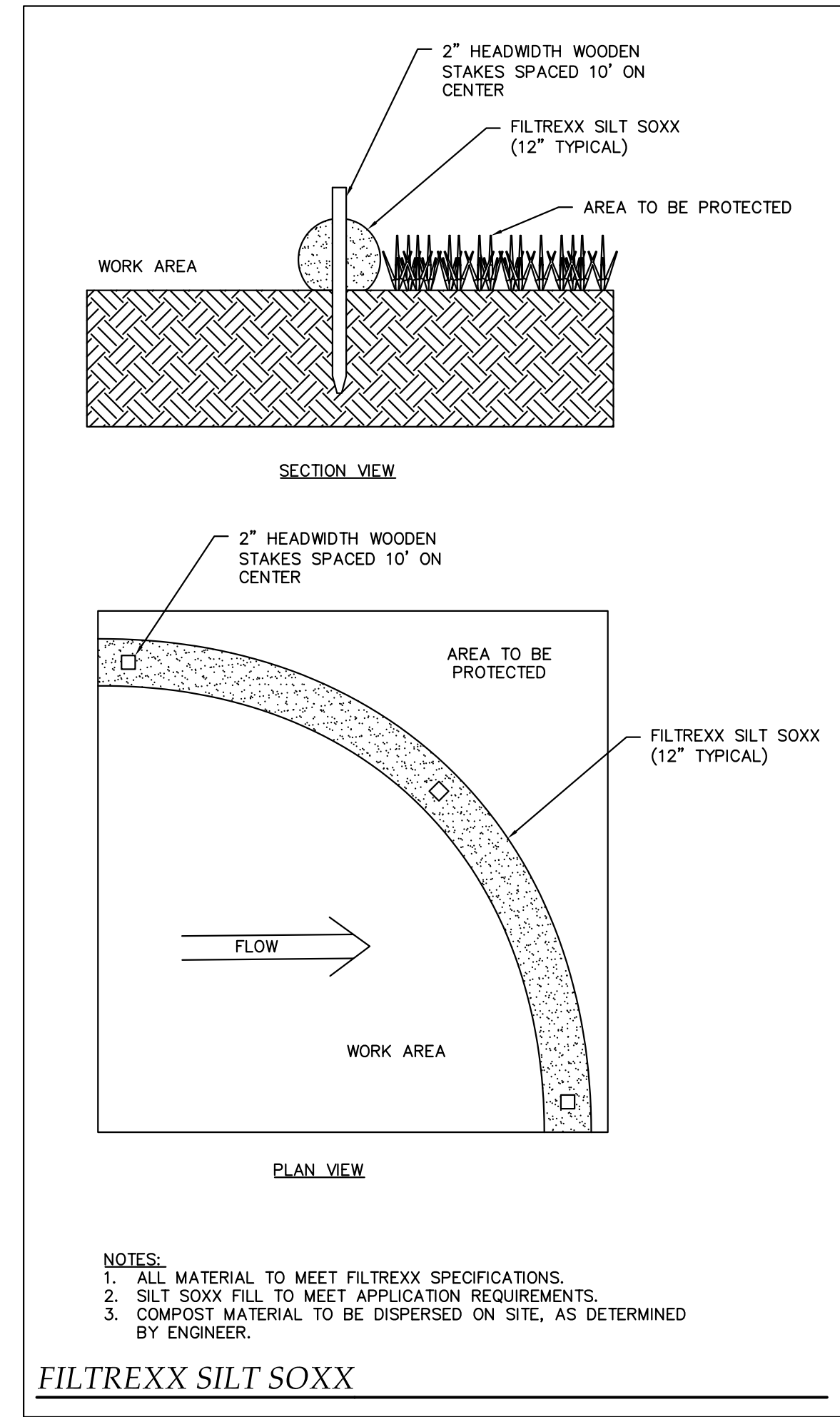
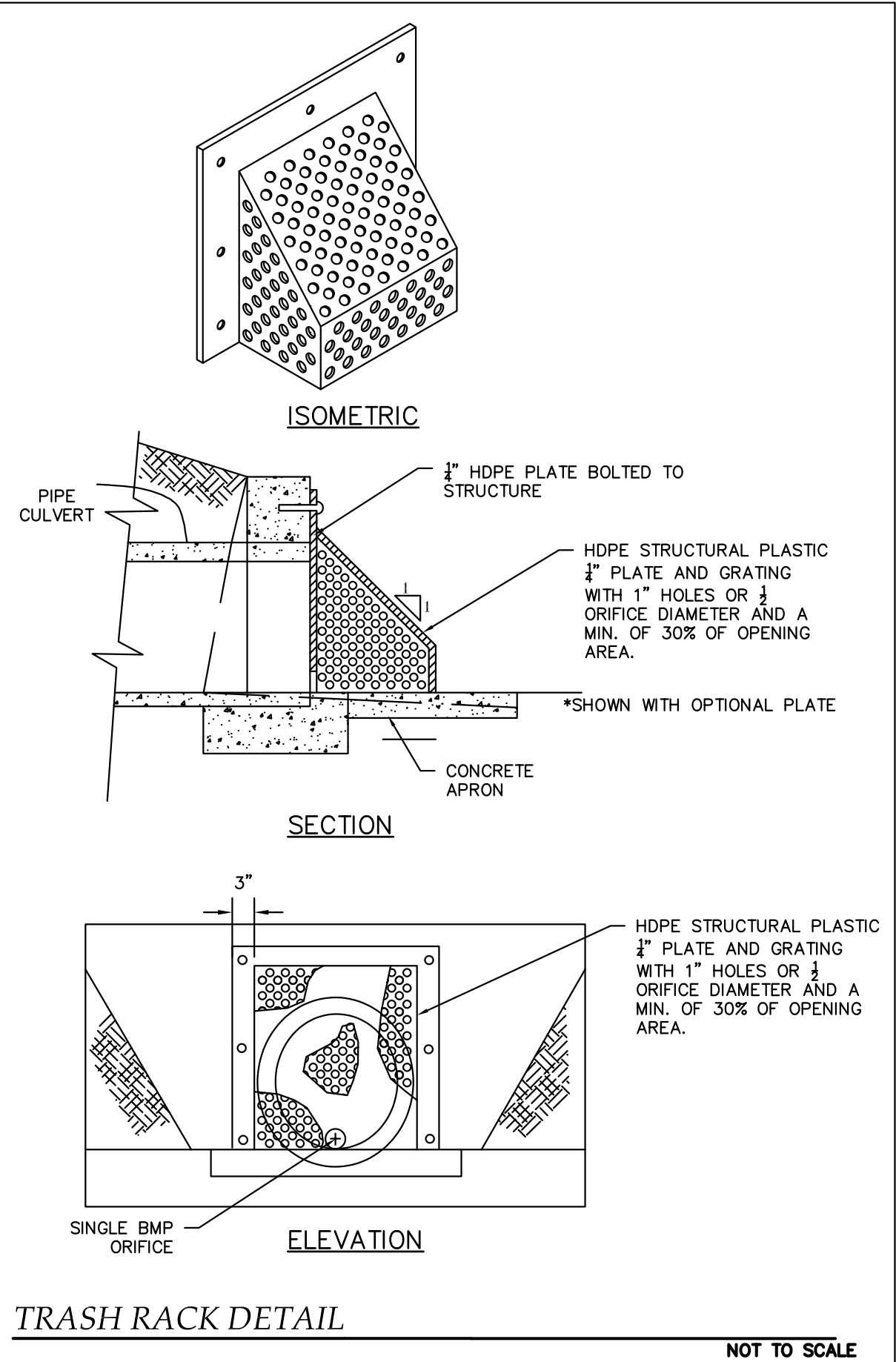
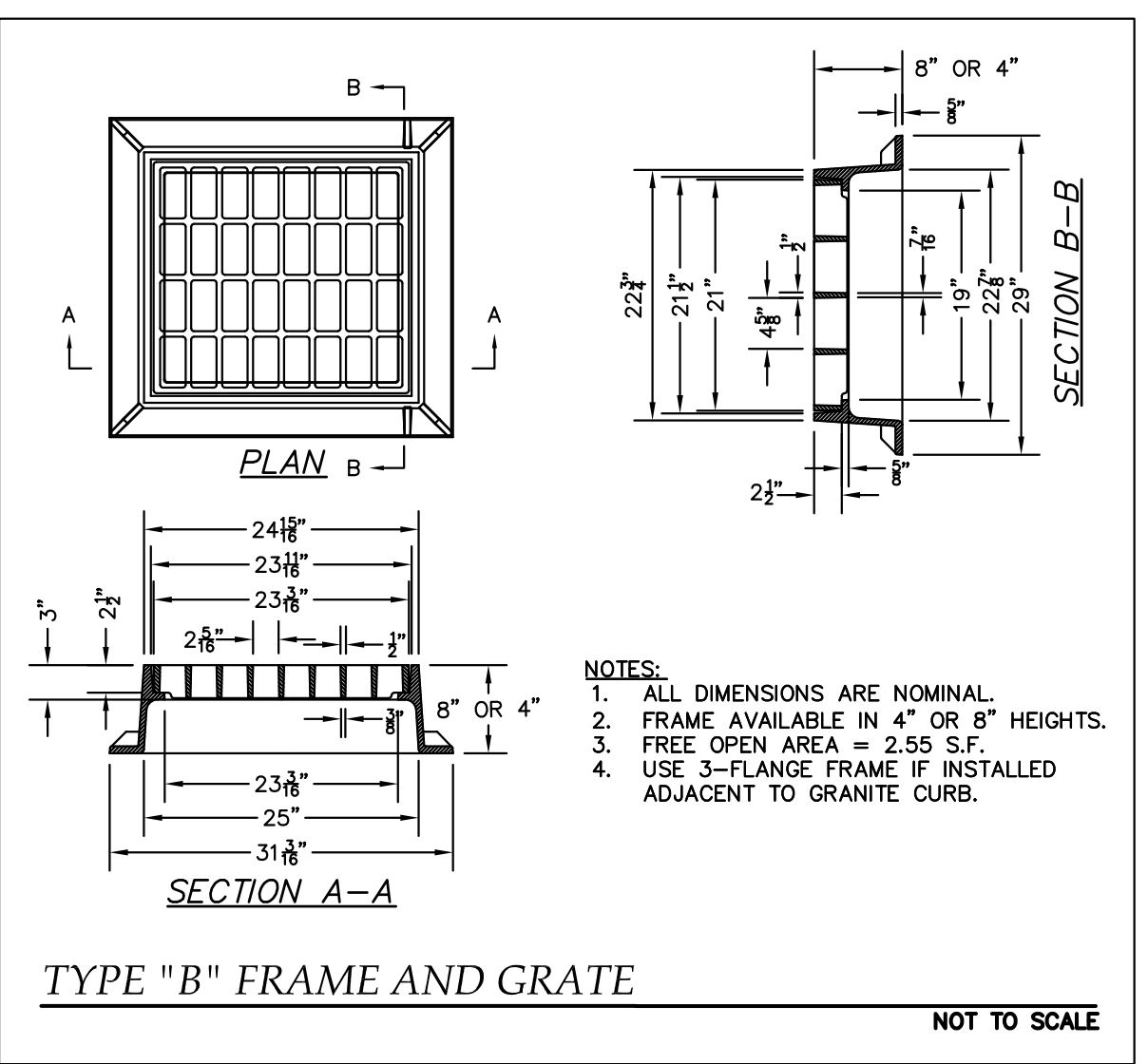
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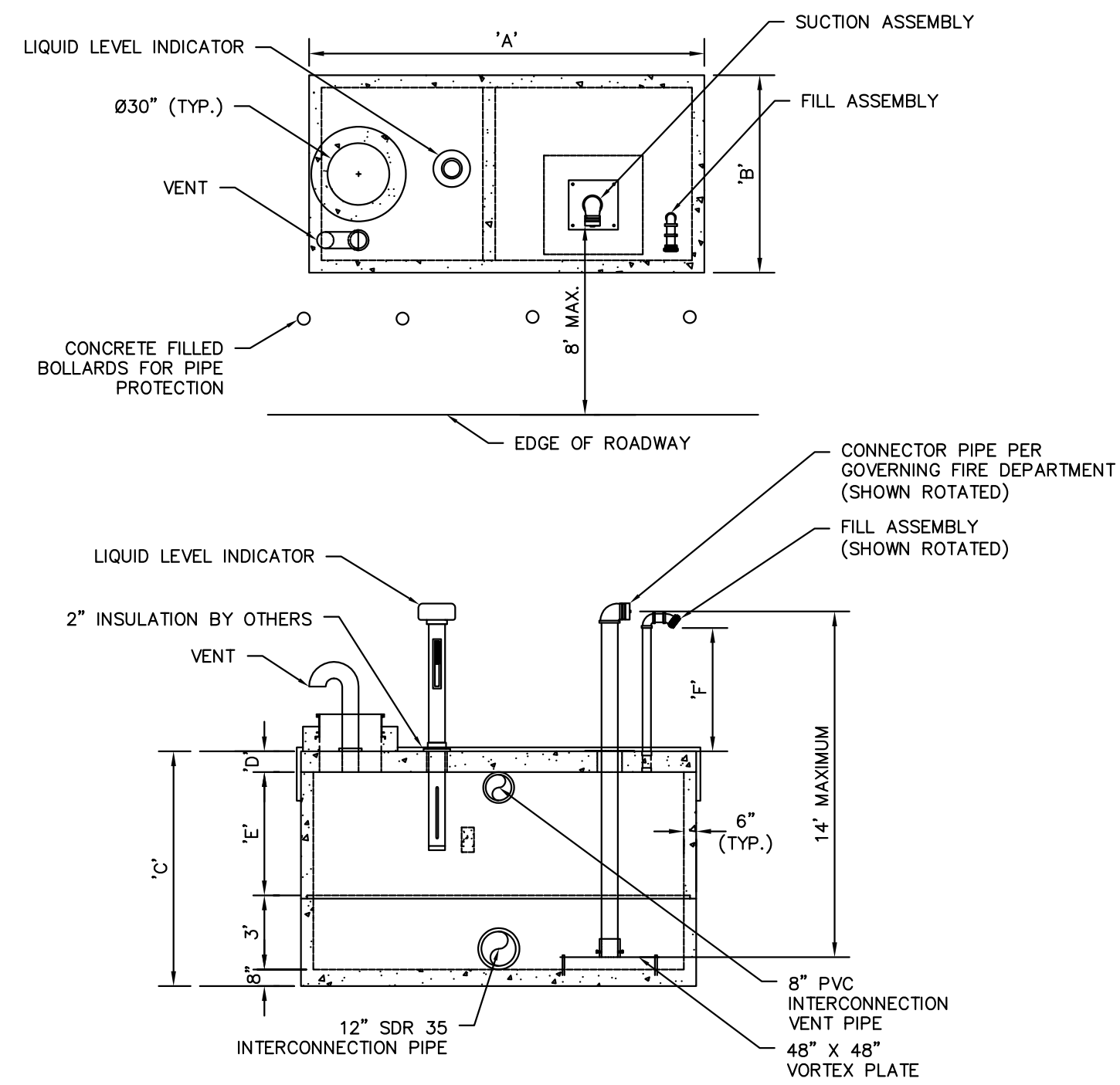
PROJECT No. 20-0820-1 DATE: MAY 12, 2021 SCALE: AS SHOWN
SHEET: 28 OF 31



NOTES:

- CONCRETE: $f_c=4,000$ PSI @ 28 DAYS MINIMUM, TYPE III CEMENT.
- REINFORCING STEEL: ASTM-A615 GRADE #60, ASTM A-185 WWF.
- DESIGN LOADING: AASHTO-HS20-44, ASTM C-478 PRECAST REINFORCED CONCRETE MANHOLE SECTIONS
- BUTYL RUBBER JOINT SEALANT CONFORMS TO LATEST ASTM C-990 SPECS
- ONE FOUR MONOLITHIC BASE SECTION.





TANK	'A'	'B'	'C'	'D'	'E'	'F'
5,000 GAL	16'	8'	9'-6"	10"	5'	5'
10,000 GAL	17'	10'	11'-4"	8"	7'	4'

LIQUID LEVEL 5,000 GALLON TANK:
 7'x15' = 787 GALLONS/VF
 ● 7.00' = 5,500 GALLONS

LIQUID LEVEL 10,000 GALLON TANK:
 9'x16' = 1,080 GALLONS/VF
 ● 9.5' = 10,260 GALLONS

EST. WEIGHT 5,000 GALLON TANK:
 TOP SLAB: 16,000 LBS
 5' RISER: 18,050 LBS
 BASE: 22,850 LBS
 TOTAL: 56,900 LBS

EST. WEIGHT 10,000 GALLON TANK:
 TOP SLAB: 16,400 LBS
 7' RISER: 26,960 LBS
 BASE: 28,350 LBS
 TOTAL: 71,710 LBS

FOUNDATION AND BACKFILL NOTES:

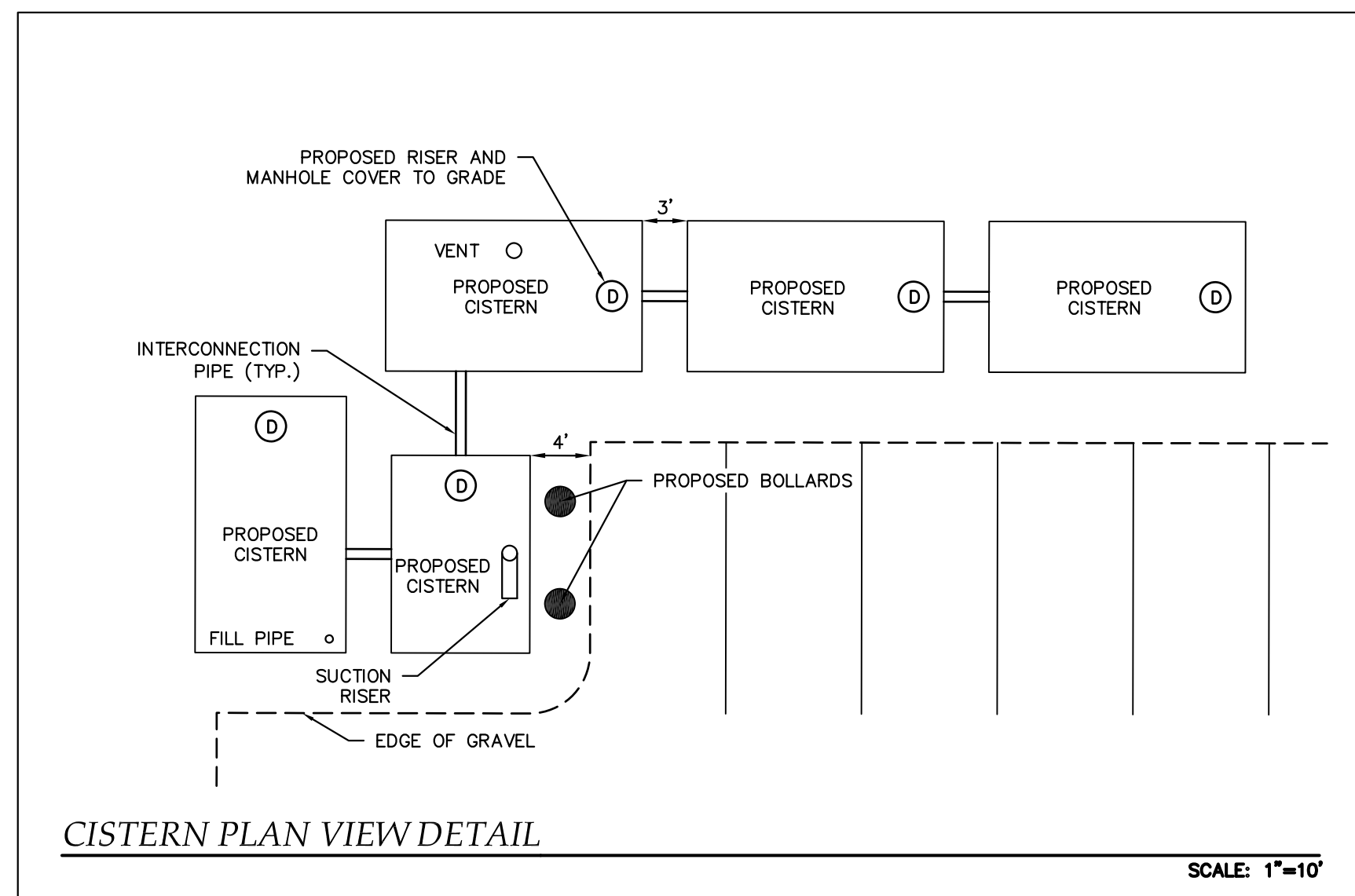
- FOUNDATION MATERIAL SHALL BE 3/4" CRUSHED STONE, MINIMUM 12" THICK, COMPACTED.
- 1-1/2" BANK RUN GRAVEL SHALL BE USED FOR BACKFILL OPERATIONS SURROUNDING TANK. BACKFILL SHALL BE PLACED IN MAXIMUM 12" LOOSE LIFTS. ALL COMPACTION SHALL BE DONE WITH HAND OPERATED EQUIPMENT.
- TANK EXCAVATION SHALL BE KEPT DEWATERED THROUGHOUT INSTALLATION AND BACKFILL OPERATIONS.

GENERAL NOTES:

- CONCRETE: FC = 5,000 PSI AT 28 DAYS MINIMUM TYPE III CEMENT.
- REINFORCING STEEL: ASTM-A615 GRADE 60 BLACK DEFORMED BARS
- DESIGN LOADING: AASHTO-HS20-44, ASTM C-890-06
- DESIGN SPECIFIED AS: ASTM C-1227-08, ASTM C-913-08
- BUTYL RUBBER JOINT SEALANT PROVIDED
- INCLUDES EXTERIOR DAMPPROOFING

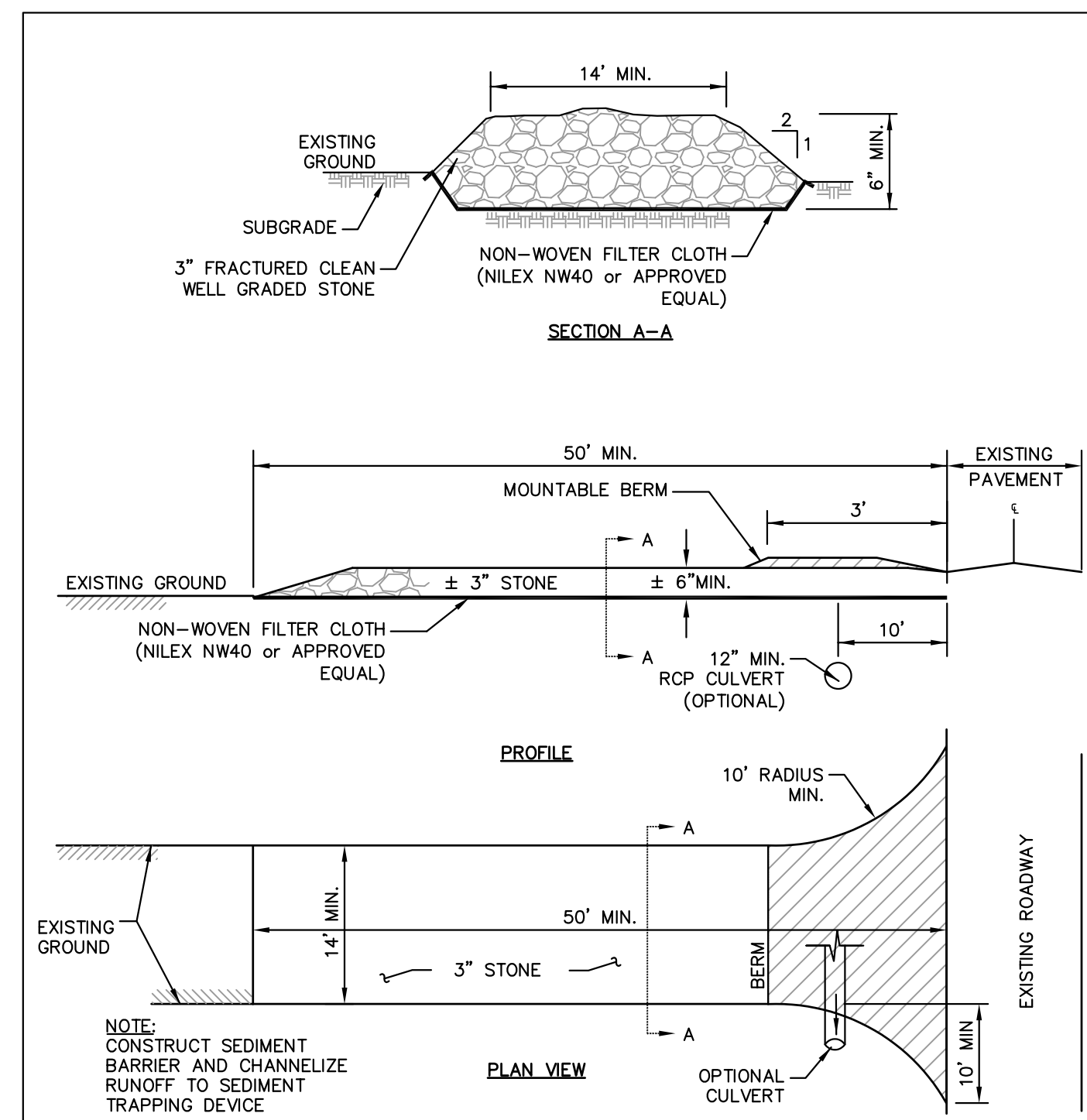
5,000 AND 10,000 GALLON HS-20 CISTERN ASSEMBLY DETAIL

NOT TO SCALE



CISTERN PLAN VIEW DETAIL

SCALE: 1"=10'



SECTION A-A

PROFILE

PLAN VIEW

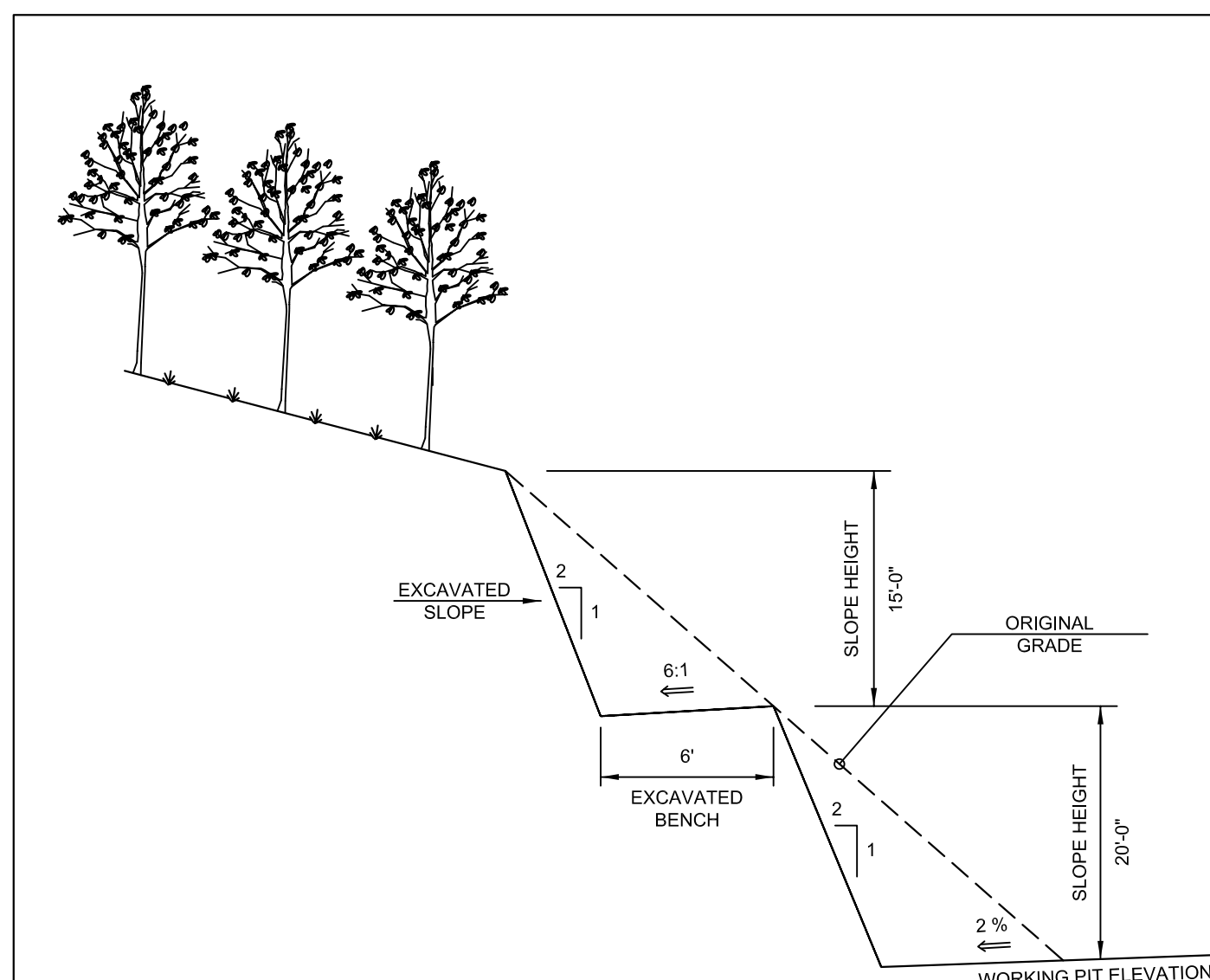
NOTE:
 CONSTRUCT SEDIMENT BARRIER AND CHANNELIZE RUNOFF TO SEDIMENT TRAPPING DEVICE

NOTES:

- STONE FOR A STABILIZED CONSTRUCTION EXIT SHALL BE 3 INCH STONE, RECLAIMED STONE OR RECYCLED CONCRETE EQUIVALENT.
- THE LENGTH OF THE STABILIZED EXIT SHALL NOT BE LESS THAN 50 FEET, EXCEPT FOR A SINGLE RESIDENTIAL LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
- THE THICKNESS OF THE STONE FOR THE STABILIZED EXIT SHALL NOT BE LESS THAN 6 INCHES.
- THE WIDTH OF THE EXIT SHALL NOT BE LESS THAN THE FULL WIDTH OF THE AREA WHERE INGRESS OR EGRESS OCCURS OR 10 FEET, WHICHEVER IS GREATER.
- GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. FILTER CLOTH IS NOT REQUIRED FOR A SINGLE FAMILY RESIDENCE LOT.
- ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION EXIT SHALL BE PIPED BENEATH THE EXIT. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE GROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
- THE EXIT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOPDRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.
- WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

STABILIZED CONSTRUCTION EXIT DETAIL

NOT TO SCALE



TERRACED SLOPE/BENCHING

NOT TO SCALE

- IF DIVERSION SWALES ARE INCORPORATED TO KEEP UPSTREAM DRAINAGE OFF A CONSTRUCTED SLOPE, BENCHES SHALL BE PROVIDED WHEREVER THE VERTICAL HEIGHT BETWEEN THE TOP OF THE SLOPE AND THE BOTTOM OF THE SLOPE EXCEEDS 40 FEET.
- IF DIVERSION SWALES ARE NOT INCORPORATED TO KEEP UPSTREAM DRAINAGE OFF THE CONSTRUCTED SLOPE, BENCHES SHALL BE PROVIDED WHEREVER THE VERTICAL HEIGHT OF:
 - ANY 2:1 SLOPE EXCEEDS 20 FEET;
 - ANY 3:1 SLOPE EXCEEDS 30 FEET; OR
 - ANY 4:1 SLOPE EXCEEDS 40 FEET.
- BENCHES SHALL BE LOCATED TO DIVIDE THE SLOPE FACE INTO EQUAL PARTS.
- EACH BENCH SHALL:
 - CONVEY THE STORMWATER TO A STABLE OUTLET;
 - BE A MINIMUM OF 6 FEET WIDE; AND
 - BE DESIGNED WITH A REVERSE SLOPE OF 6:1 OR FLATTER FROM THE TOP OF THE LOWER SLOPE TO THE TOE OF THE UPPER SLOPE AND WITH A MINIMUM OF ONE FOOT IN DEPTH.
- THE CHANNEL GRADIENT FROM THE BENCH TO THE OUTLET SHALL BE BETWEEN 2 AND 3 PERCENT.
- THE FLOW LENGTH WITHIN A BENCH SHALL NOT EXCEED 800 FEET.



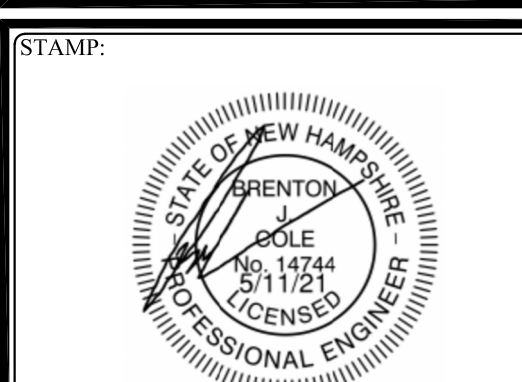
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PLEASE REPORT RARE TURTLES



Report sightings immediately to NHFG Wildlife Division at 603-271-2461 (M-F 8-4) or to NHFG Wildlife Biologist Melissa Doperalski 603-479-1129 (cell) anytime.
Please report promptly, noting specific location and date – Photographs strongly encouraged



Blanding's turtle (state endangered)

- Large, dark/black domed shell with lighter speckles
- Distinct yellow throat/chin
- Aquatic but often moves on land

BLANDING'S TURTLE FLYER NOT TO SCALE

No.	DATE	COMMENTS
0	05/12/2021	PROJECT SUBMITTAL

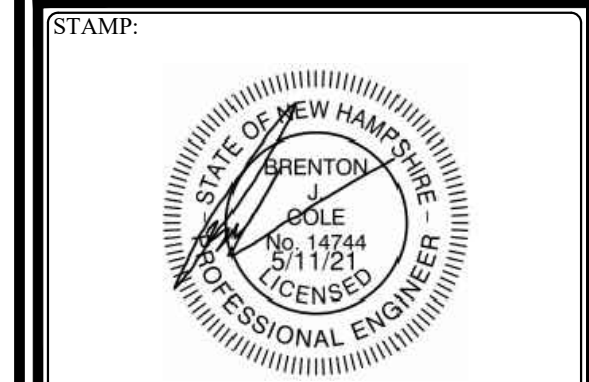
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