

SITE PLAN

HENNIKER FAMILY DENTISTRY

HENNIKER, NH



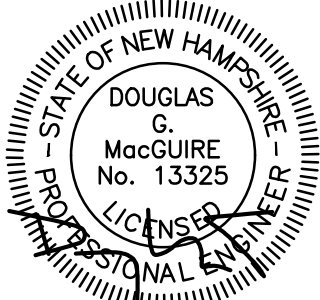
SHEET INDEX

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The Dubay Group, Inc.
136 Harvey Road, Bldg B101
Londonderry, NH 03053
603-458-6462

Engineers
Planners
Surveyors
TheDubayGroup.com



REVISIONS:			
REV	DATE	COMMENT	BY

DRAWN BY: SJK
CHECKED BY: DGM
DATE: OCT 11, 2023
SCALE:
FILE: 541-COVER
DEED REF:

PROJECT:
HENNIKER FAMILY DENTISTRY
(MAP 5B LOT 187-A)
MAPLE STREET
HENNIKER, NH
FOR

OSOFSO INVESTMENTS, LLC
154 ELM STREET
MILFORD, NH 03055
OWNER

DIAS FAMILY REVOCABLE TRUST OF 2009 SCOTT R DIAS & CATHERINE A DIAS TRUSTEES
245 FLANDERS ROAD
HENNIKER, NH 03242

SHEET TITLE:
TITLE SHEET

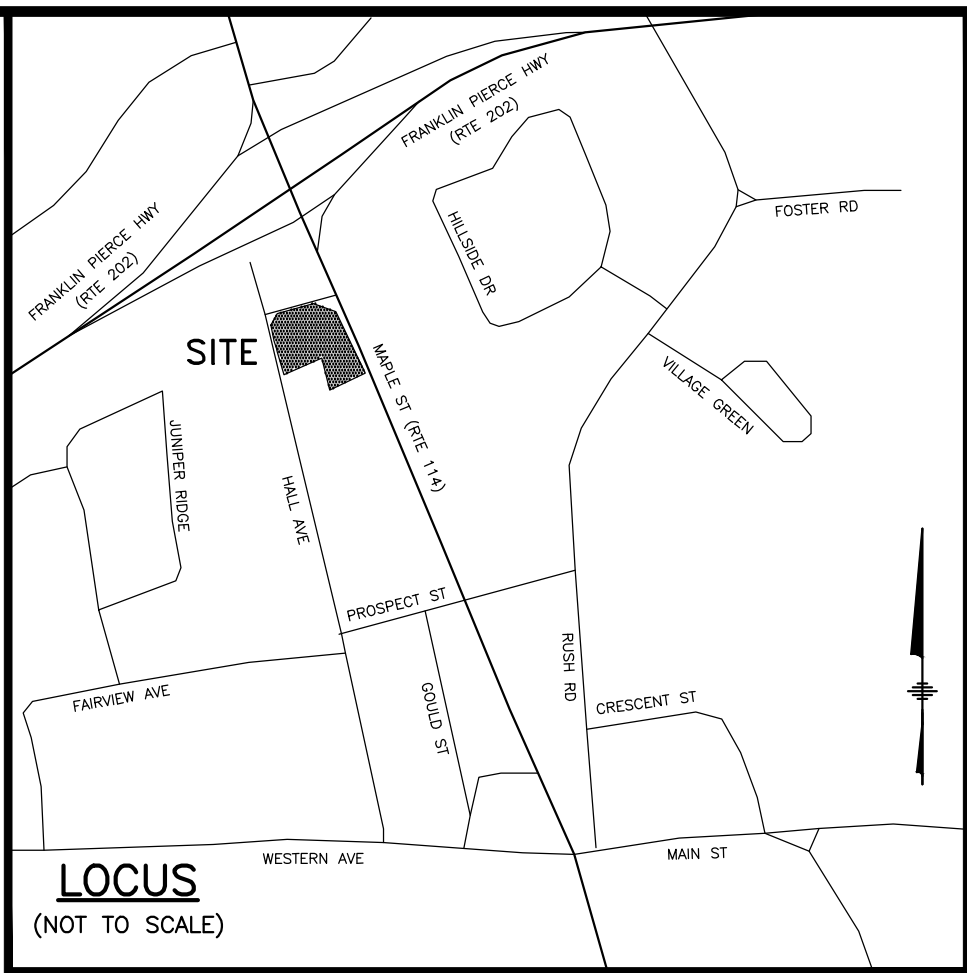
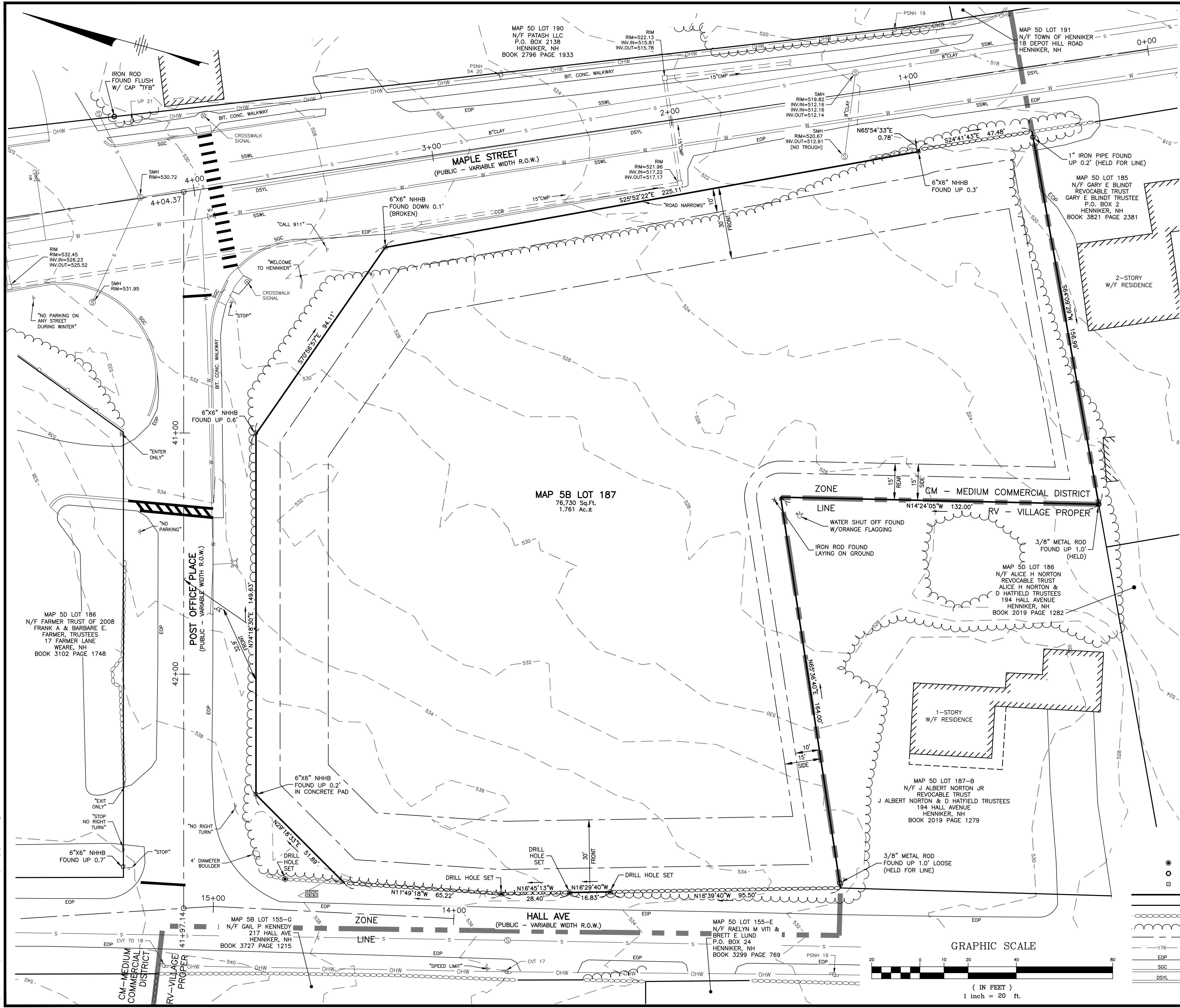
OWNER'S SIGNATURE

OWNER DATE

APPROVED BY THE HENNIKER PLANNING BOARD ON

DATE
CHAIRMAN
VICE CHAIRMAN

N:\PROJECTS\541-Milford Dental-Heniker\Survey\541WS.dwg



NOTES:

1. THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING SITE CONDITIONS OF MAP 5A LOT 187-A BASED ON A SURVEY PERFORMED BY THIS OFFICE BETWEEN AUGUST 14 AND AUGUST 15, 2023.
2. THE BOUNDARY INFORMATION SHOWN HEREON IS BASED ON A SURVEY PERFORMED BY THIS OFFICE AUGUST 14 AND AUGUST 15, 2023 AND PLAN REFERENCES LISTED HEREON.
3. HORIZONTAL DATUM IS NAD83 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON AUGUST 15, 2023.
4. VERTICAL DATUM IS NAVD88 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON AUGUST 15, 2023.
5. UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON RECORD DESIGN PLANS, DIG SAFE, FLAGGING, AND INFORMATION PROVIDED BY THE TOWN OF HENNIKER, NH, AND ABOVE GROUND FEATURES LOCATED BY THIS OFFICE. SAID UNDERGROUND UTILITIES ARE NOT WARRANTED TO BE EXACT OR INCLUSIVE OF ALL EXISTING UTILITIES.
6. MAP 5A LOT 187-A IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA (100 YEAR FLOOD) PER FLOOD INSURANCE RATE MAP 33013C0487E, WITH AN EFFECTIVE DATE OF APRIL 19, 2010.
7. MAP 5A LOT 187-A IS ZONED MEDIUM COMMERCIAL (CM) PER THE TOWN OF HENNIKER ZONING MAP:

MIN LOT SIZE: 87,120 SF± (2.0 ACRES)
MIN LOT FRONTAGE: 125 FT
MIN FRONT YARD: 30 FT
MIN SIDE YARD: 15 FT
MIN REAR YARD: 15 FT

REFER TO THE TOWN OF HENNIKER ZONING ORDINANCE FOR ADDITIONAL INFORMATION AND RESTRICTIONS.
8. SEE QUITCLAIM DEED RECORDED IN BOOK 3804 PAGE 2376 RELEASING RIGHTS COGSWELL SPRING WATER WORKS HAS IN AN EASEMENT BELIEVED TO BE PART OF A RIGHT OF WAY GRANTED TO HENNIKER SPRING WATER COMPANY BY DEED OF ETNA E. COLBY IN BOOK 410 PAGE 26.

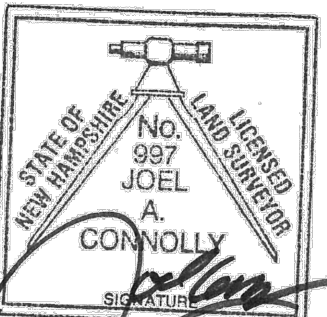
REFERENCE PLANS:

1. PLAN ENTITLED "STATE OF NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS, PLANS OF PROPOSED FEDERAL AID PRIMARY PROJECT, EHS-RF-F-012-1(7), N.H. PROJECT NO. P-7876-B, RELOCATION OF U.S. ROUTE 202 AND N.H. ROUTE 9" DATED
2. PLAN ENTITLED "LAND OF RICHARD K BOYD & THELMA S BOYD, TOWN OF HENNIKER, COUNTY OF MERRIMACK, STATE OF NEW HAMPSHIRE" DATED APRIL 1986, PREPARED BY ROBERT T FRENCH P.E. & RLS

CERTIFICATION:

I CERTIFY THAT THIS SURVEY AND PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND THAT THIS PLAN IS THE RESULT OF AN ACTUAL SURVEY PERFORMED ON THE GROUND WITH AN ERROR OF CLOSURE OF NOT MORE THAN ONE PART IN TEN THOUSAND.

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.



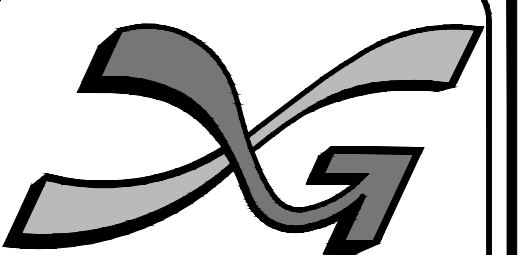
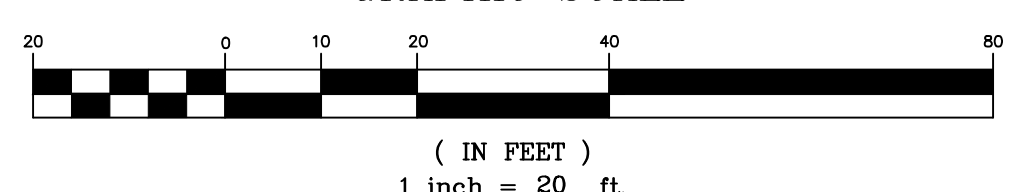
JOEL A. CONNOLLY, LLS 997

10/11/2023
DATE

LEGEND

●	DRILL HOLE	□	CATCH BASIN
○	IRON PIPE OR IRON ROD	⊙	DRAIN MANHOLE
□	BOUND	⊙	SEWER MANHOLE
—	PROPERTY LINE	—	HYDRANT
—	ABUTTER LINE	—	WATER VALVE
—	STONE WALL	—	WATER LINE
—	TREELINE	—	SEWER LINE
—	BUILDING SETBACK	—	UTILITY POLE
—	CONTOUR ELEVATION	—	OVERHEAD WIRES
—	EDGE OF PAVEMENT	—	SIGN
—	SLOPED GRANITE CURB	—	MAILBOX
—	DOUBLE SOLID	—	SINGLE SOLID
—	YELLOW LINE	—	WHITE LINE

GRAPHIC SCALE



The Dubai Group, Inc.

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Londonbury, NH 03053
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REVISIONS:

REV#	DATE	COMMENT	BY

DRAWN BY: JAC
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SCALE: 1"=20'
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DEED REF: BOOK 3804
PAGE 2385

PROJECT:

HENNIKER FAMILY DENTISTRY
(MAP 5B LOT 187-A)
MAPLE STREET
HENNIKER, NH
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154 ELM STREET
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HENNIKER, NH 03242

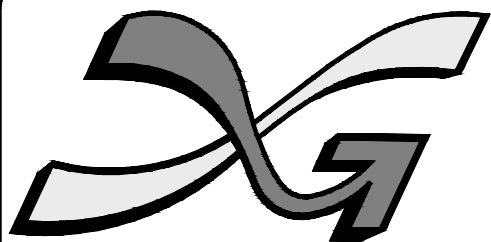
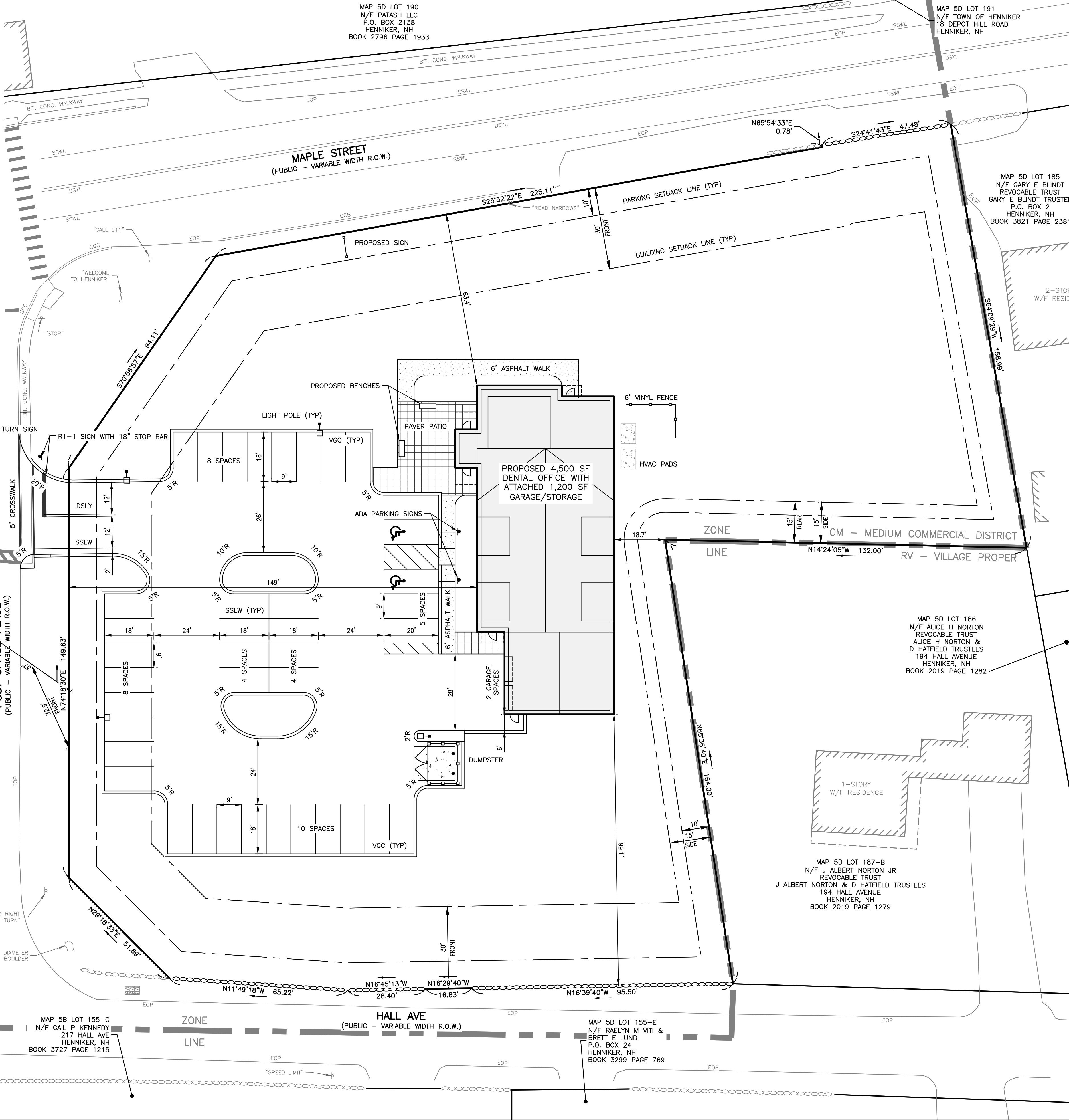
SHEET TITLE:

EXISTING CONDITIONS PLAN

GENERAL NOTES:

- OWNER OF RECORD: MAP 5B LOT 187-A
76,724 SF (1.76 AC)
DIAS FAMILY REVOCABLE TRUST OF 2009
SCOTT R DIAS & CATHERINE A DIAS TRUSTEES
245 FLANDERS ROAD
HENNIKER, NH 03242
- THE SUBJECT PARCEL IS ZONED MEDIUM COMMERCIAL (CM)
 - THE PROPOSED DEVELOPMENT WILL BE SERVED BY PUBLIC WATER AND SEWER.
 - ALL WORK TO BE DONE IN CONFORMANCE WITH THE TOWN OF HENNIKER REGULATIONS. ALL PARKING, STRUCTURES, AND DRAINAGE TO MEET TOWN OF HENNIKER SPECIFICATIONS.
 - ZONING REQUIREMENTS:
MINIMUM LOT FRONTAGE: 125FT
MINIMUM FRONT YARD: 30FT
MINIMUM SIDE YARD: 15FT
MINIMUM REAR YARD: 15FT
 - SNOW AND ICE CONTROL SHALL BE PERFORMED BY A "GREEN SNO-PRO" CERTIFIED CONTRACTOR FOLLOWING BEST MANAGEMENT PRACTICES FOR THE APPLICATION OF DE-ICING MATERIALS. IN THE EVENT ACCUMULATIONS OF WINTER SNOW VOLUMES EXCEED ON-SITE STORAGE CAPACITIES, EXCESS VOLUMES OF SNOW SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT A LEGAL DISPOSAL SITE. SEE SNOW STORAGE AREAS ON THE LANDSCAPE PLAN.
 - THIS PLAN SET CONTAINS A TOTAL OF 12 SHEETS. THE FULL SET OF PROJECT PLANS IS ON FILE AT THE HENNIKER PLANNING DEPT.
 - ALL CATCH BASINS & DRAINAGE SYSTEMS SHALL BE CLEANED OF DEBRIS TWICE PER YEAR & INSPECTED TO MAKE SURE THEY ARE OPERATING AS DESIGNED. THE TIME OF REMOVAL OF DEBRIS SHOULD BE IN THE SPRING AND FALL SEASONS.
 - SEE ARCHITECTURAL PLANS FOR DETAILS AND OTHER FEATURES AT THE BUILDINGS. CONTRACTOR TO PERFORM THIS WORK AS DIRECTED BY THE OWNER.
 - THE LOCATION OF ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. THE DUBAY GROUP, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE, THE CONTRACTOR SHALL CONTACT NEW HAMPSHIRE DIG-SAFE TO CONFIRM UTILITY LOCATIONS.

- THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
- A MINIMUM DRIVE AISLE WIDTH OF 24 FEET IS TO BE MAINTAINED THROUGHOUT THE PROJECT.
- CONTRACTOR SHALL MAINTAIN AN EFFECTIVE MEANS OF DUST CONTROL DURING THE CONSTRUCTION PERIOD USING WATER TRUCKS AND SWEEPERS AS DEEMED NECESSARY BY THE TOWN INSPECTOR.
- PARKING REQUIREMENTS:
1 SPACE/500 SF
TOTAL SPACES REQUIRED = 9 SPACES
TOTAL SPACES PROVIDED = 39 SPACES (2 ADA) + 2 GARAGE SPACES
- ANY MISSING BOUNDARY MONUMENTATION SHALL BE SET AND CERTIFIED BY A LICENSED SURVEYOR.
- IF SOIL CONTAINING ANY LIVING OR VIABLE PORTION OF PLANTS ON THE NEW HAMPSHIRE PROHIBITED INVASIVE SPECIES LIST (AGR TABLE 3800) THE DEVELOPER WILL CONTACT THE NH COOPERATIVE EXTENSION SERVICE REGARDING RECOMMENDATIONS ON THE REMOVAL AND DISPOSAL OF THE INVASIVE SPECIES.
- PRIOR TO CONSTRUCTION, CONTACT DIG-SAFE CENTER. TOLL FREE AT 811. NEW HAMPSHIRE STATE LAW REQUIRES NOTIFICATION AT LEAST 3 BUSINESS DAYS BEFORE DIGGING OPERATIONS START.
- OWNER SHALL ADHERE TO PRACTICES IN "OPERATION AND MAINTENANCE PROCEDURES FOR STORMWATER MANAGEMENT SYSTEMS" PROVIDED IN THE STORMWATER MANAGEMENT REPORT IN A TIMELY AND ROUTINE MANNER.



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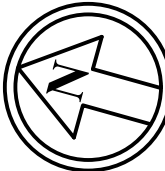
136 Harvey Road, Bldg B101
Londonderry, NH 03053
603-458-6462

Engineers

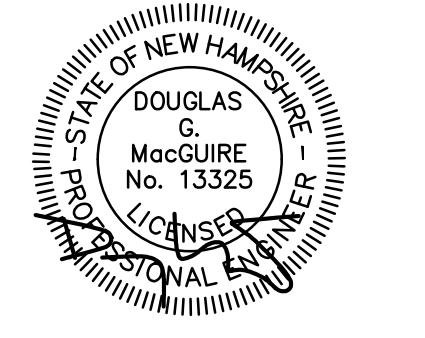
Planners

Surveyors

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1 INCH = 20 FEET



REVISIONS:			
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DRAWN BY: SJK
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DATE: OCT 11, 2023
SCALE: 1"=20'
FILE: 541-SITE
DEED REF: BOOK 3804
PAGE 2385

PROJECT:
HENNIKER FAMILY DENTISTRY
(MAP 5B LOT 187-A)
MAPLE STREET
HENNIKER, NH
FOR

OSOFSO INVESTMENTS, LLC
154 ELM STREET
MILFORD, NH 03055
OWNER

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245 FLANDERS ROAD
HENNIKER, NH 03242

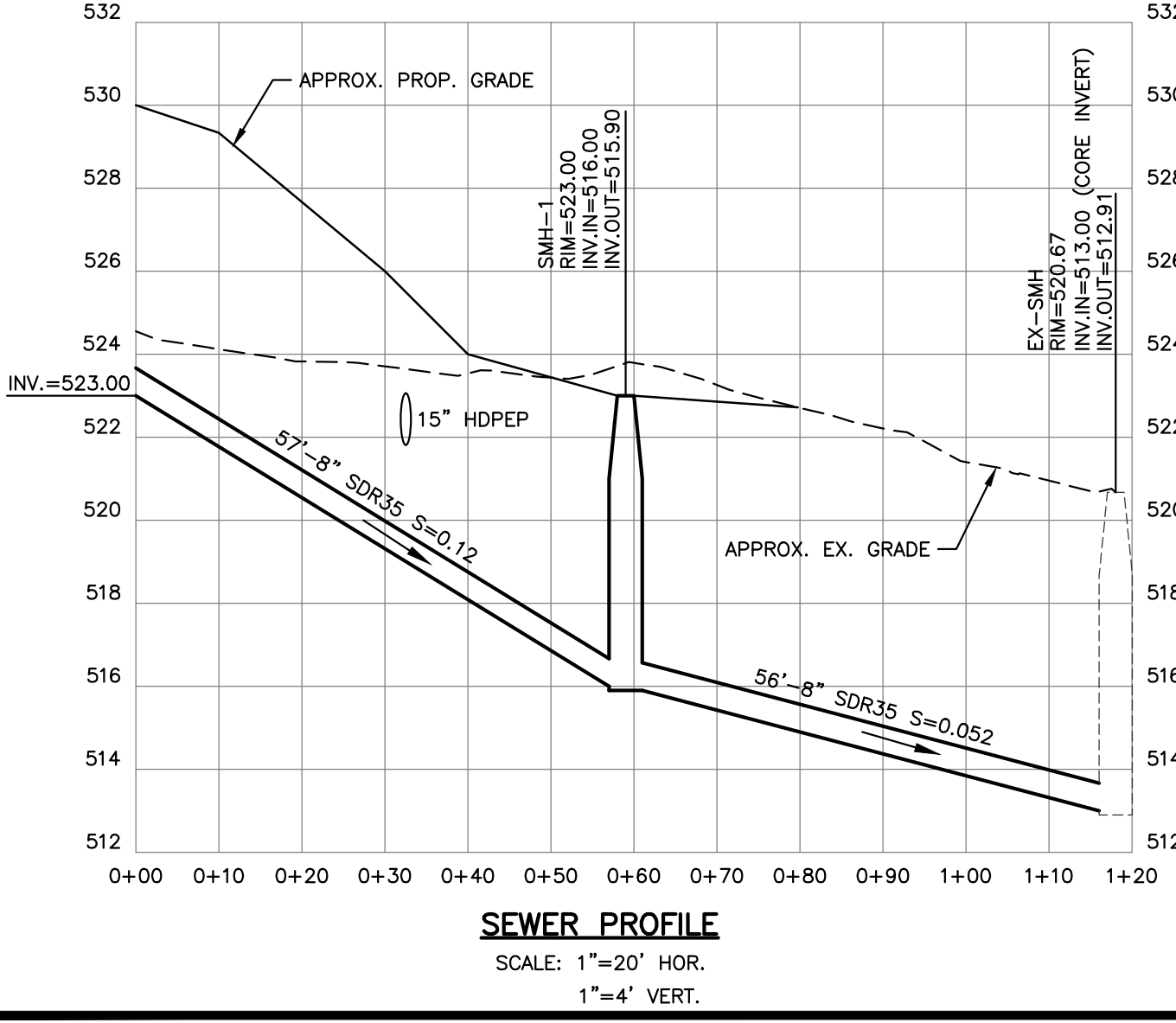
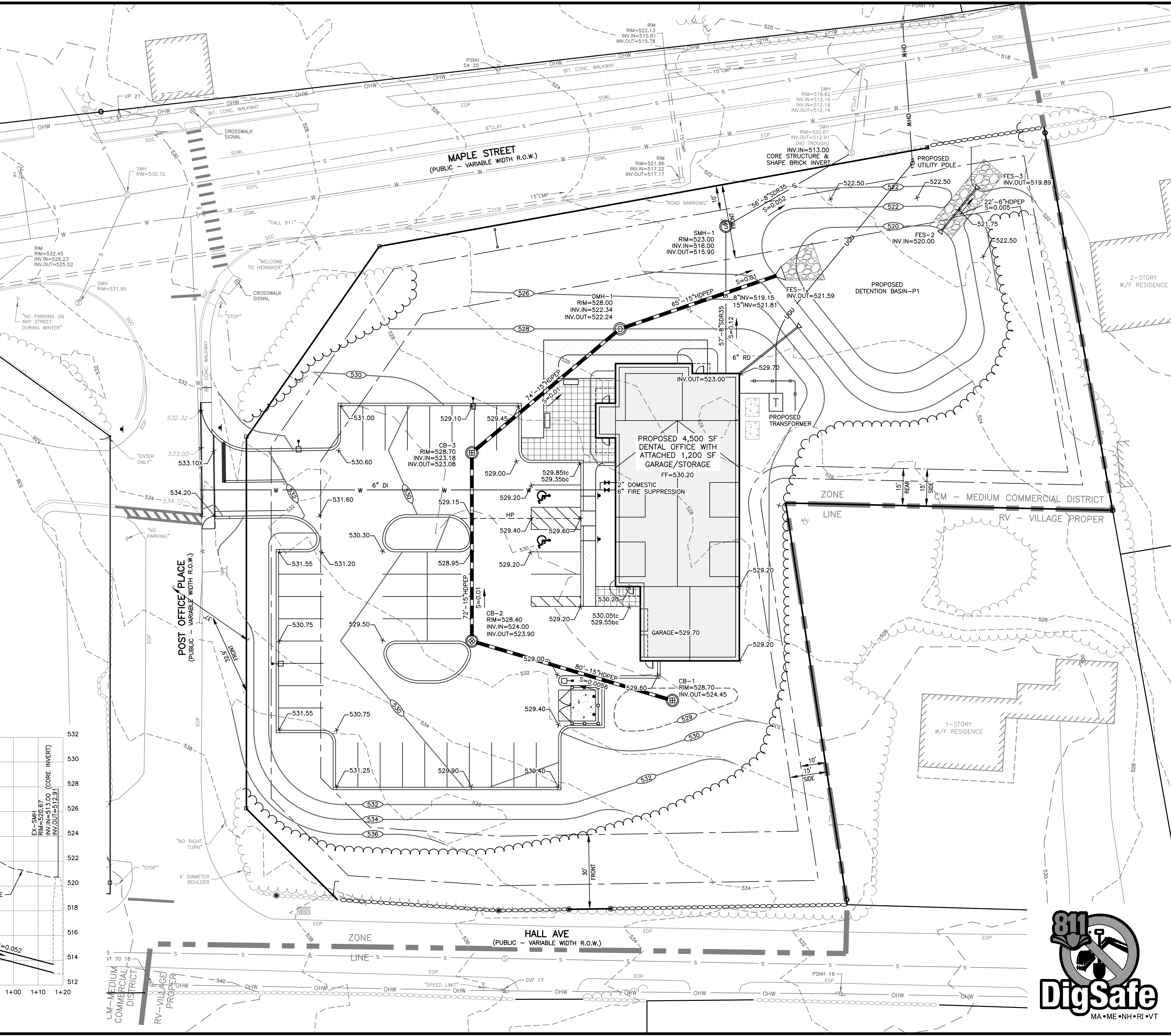
SHEET TITLE:

SITE PLAN

PROJECT #541 SHEET 3 of 12

CONSTRUCTION NOTES:

1. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF HENNIKER, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEIRSELF WITH THE SITE AND ALL EXISTING CONDITIONS SURROUNDING IT AND THEREON.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER AND THE TOWN OF CHESTER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BE AGREED TO BY THE ENGINEER AND THE TOWN OF HENNIKER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "DIGSAFE" (811) AT LEAST 72 HOURS BEFORE DIGGING.
4. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE AS NECESSARY WITH THE UTILITY COMPANIES OF SAID UTILITIES. THE PROTECTION OR RELOCATION OF UTILITIES IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL MANHOLES IN PAVEMENT SHALL HAVE RIMS SET TO FINISH GRADE REGARDLESS OF ANY ELEVATIONS OTHERWISE SHOWN.
6. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONDUIT AND WIRING TO ALL SIGNS AND LIGHTS. CONDUIT TO BE A MINIMUM OF 24" BELOW FINISH GRADE.
7. VERIFY UTILITY CONNECTIONS TO BUILDING WITH ARCHITECTURAL DRAWINGS.
8. COORDINATE WITH MECHANICAL AND PLUMBING PLANS FOR THE WATER SERVICE PIPE SIZE AND TYPE.
9. ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
10. LIMITS OF WORK ARE SHOWN AS APPROXIMATE. THE CONTRACTOR SHALL COORDINATE ALL WORK TO PROVIDE SMOOTH TRANSITIONS. THIS INCLUDES GRADING, PAVEMENT, CURBING, AND ALIGNMENTS.
11. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR THE CONDITIONS AT THE SITE. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES TO THE ENGINEER AND THE TOWN OF HENNIKER.
12. SEE DETAILS FOR DRAINAGE SPECIFICATIONS
13. CONTRACTOR TO DAYLIGHT FOUNDATION/ROOF DRAINS TO THE PROPOSED CLOSED DRAINAGE SYSTEM OR TOE OF SLOPE WHERE POSSIBLE.
14. FURNISH AND INSTALL EROSION AND SEDIMENTATION CONTROL SYSTEMS PER N.H.D.E.S REQUIREMENTS - SEE DETAILS.



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1 INCH = 20 FEET

STATE OF NEW HAMPSHIRE
DOUGLAS G. MACGUIRE
No. 13325
Professional Engineer

REVISIONS:			
REV	DATE	COMMENT	BY

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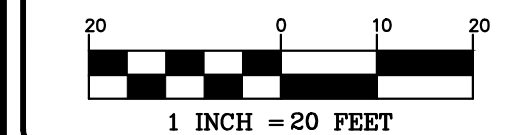
SHEET TITLE:
GRADING, DRAINAGE, & UTILITY PLAN

PROJECT #541 SHEET 4 of 12

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DRAWN BY: REK
CHECKED BY: DGM
DATE: OCT 11, 2023
SCALE: 1"=20'
FILE: 541-LANDSCAPE
DEED REF: BOOK 3804
PAGE 2385

PROJECT:

**HENNIKER FAMILY
DENTISTRY**

(MAP 5B LOT 187-A)
MAPLE STREET
HENNIKER, NH

_____FOR_____

**OSOFSON INVESTMENTS,
LLC**
154 ELM STREET
MILFORD, NH 03055

OWNER

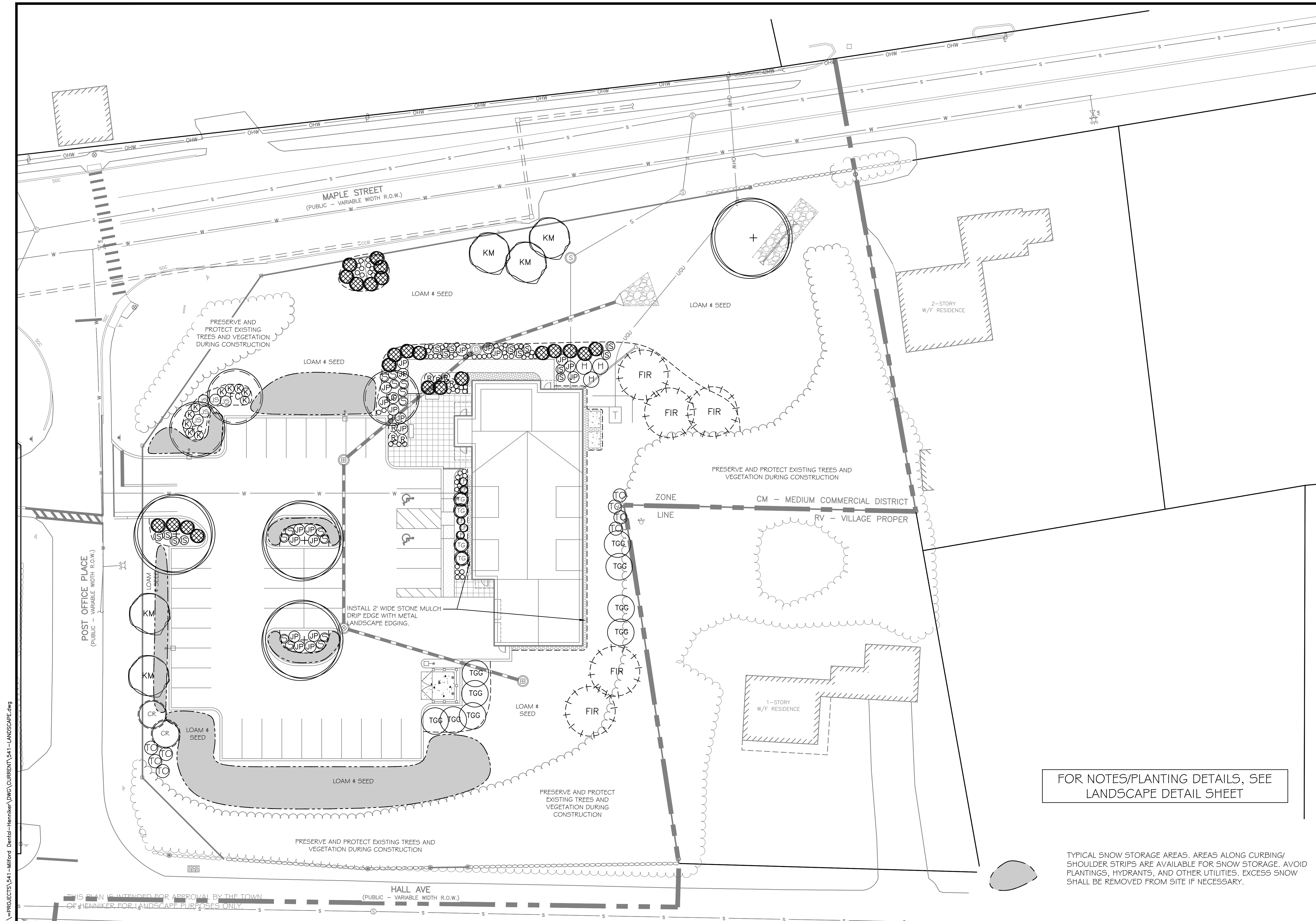
**DIAS FAMILY REVOCABLE
TRUST OF 2009 SCOTT R
DIAS & CATHERINE A DIAS
TRUSTEES**

245 FLANDERS ROAD
HENNIKER, NH 03242

SHEET TITLE:

LANDSCAPE PLAN

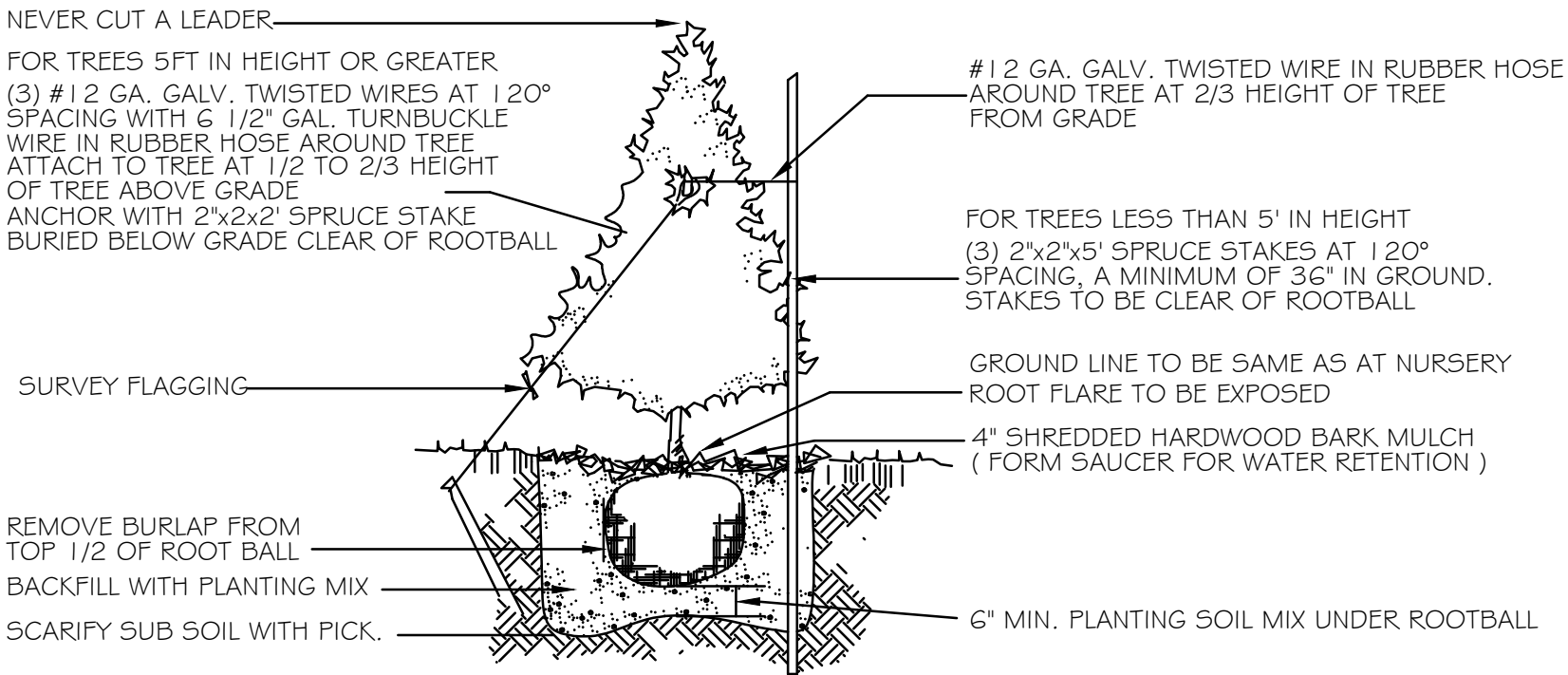
PROJECT #541 SHEET 5 of 12



FOR NOTES/PLANTING DETAILS, SEE
LANDSCAPE DETAIL SHEET

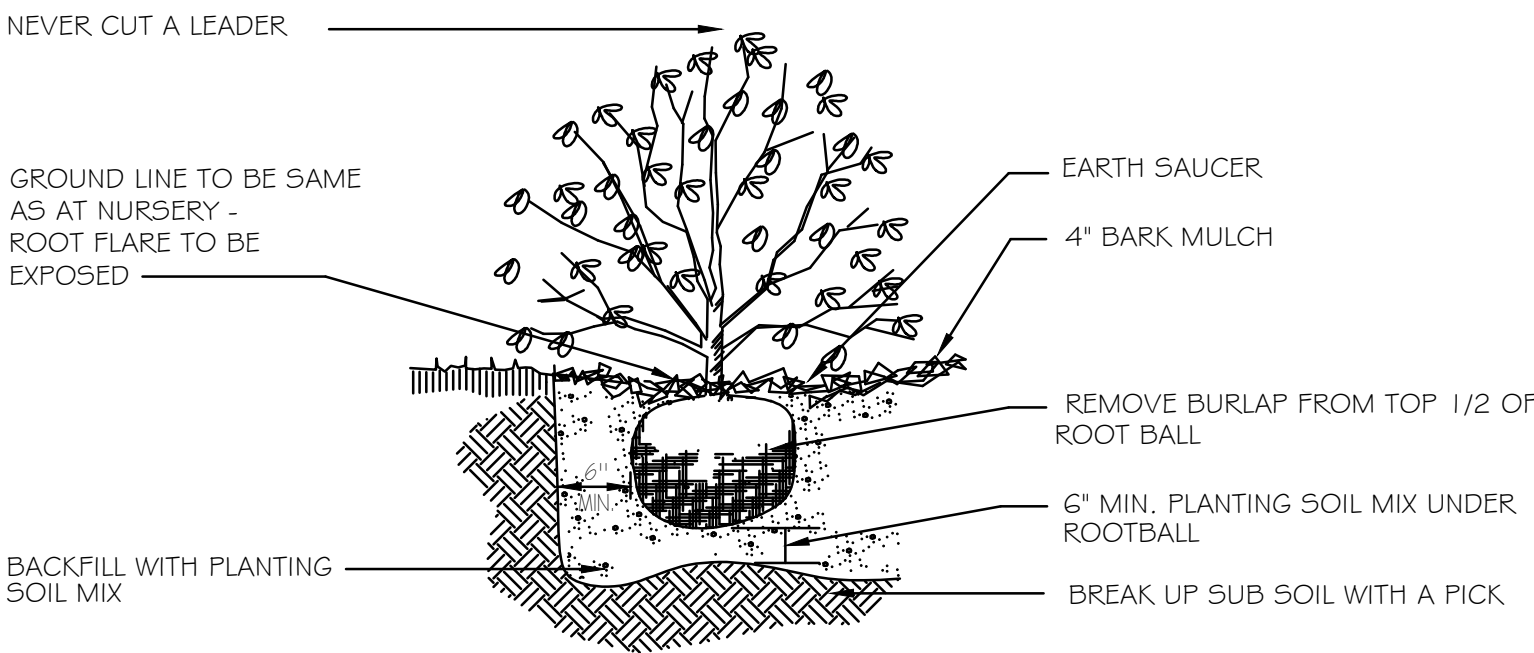
TYPICAL SNOW STORAGE AREAS. AREAS ALONG CURBING/
SHOULDER STRIPS ARE AVAILABLE FOR SNOW STORAGE. AVOID
PLANTINGS, HYDRANTS, AND OTHER UTILITIES. EXCESS SNOW
SHALL BE REMOVED FROM SITE IF NECESSARY.

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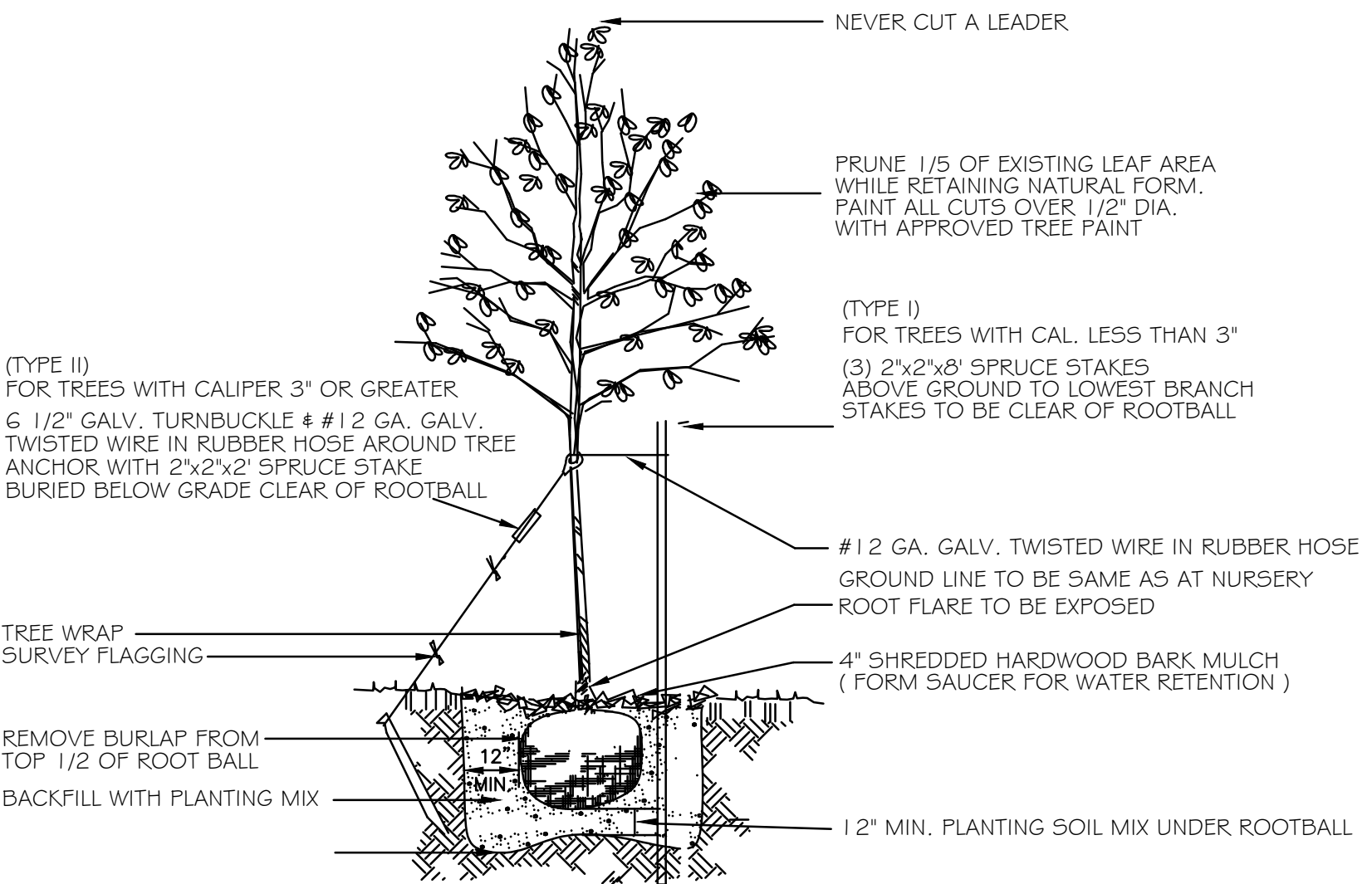
EVERGREEN PLANTING DETAIL

NTS

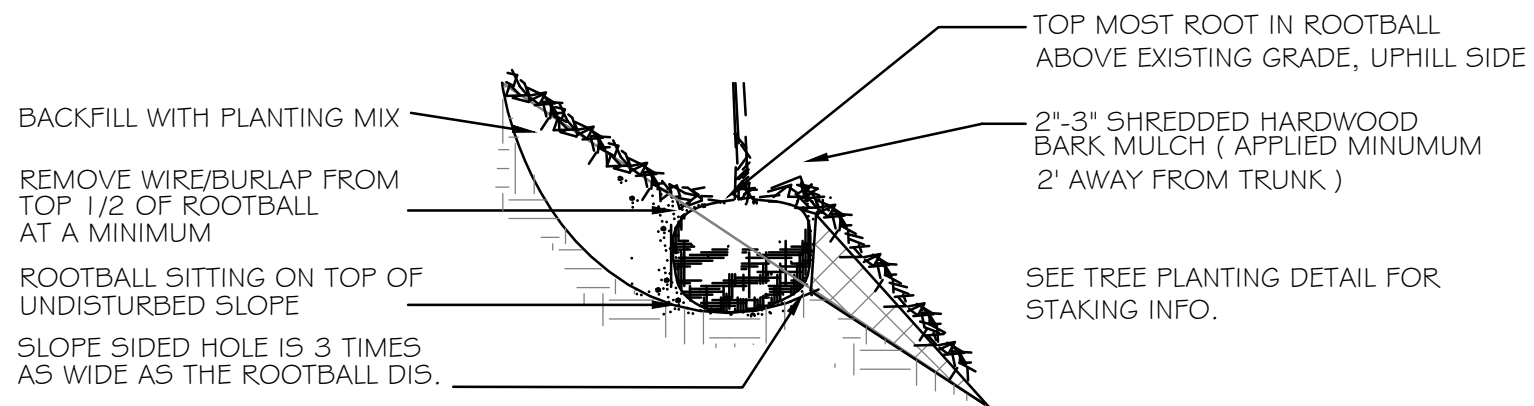


SHRUB PLANTING DETAIL

NTS



DECIDUOUS TREE PLANTING DETAIL



SLOPE PLANTING DETAIL

NTS

LANDSCAPE NOTES:

- PRIOR TO CONSTRUCTION THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL EXISTING AND NEWLY INSTALLED UTILITIES AND SHALL NOTIFY THE OWNERS REPRESENTATIVE OF ANY CONFLICTS.
- LANDSCAPING SHOWN ON THIS PLAN HAS BEEN DESIGNED TO COMPLY WITH THE TOWN OF HENNIKER LANDSCAPE REGULATIONS.
- WHEREVER POSSIBLE EXISTING TREES SHALL BE PRESERVED AND PROTECTED DURING CONSTRUCTION AS SHOWN.
- THE PROPOSED DECIDUOUS TREES SHALL BE A MIN. 2.5"-3.5" CALIPER WITH A MINIMUM HEIGHT OF 12', EVERGREEN TREES A MINIMUM OF 6' HIGH AND SHRUBS 2' AT TIME OF PLANTING.
- ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED WITH A MINIMUM OF 6" SUITABLE LOAM, EXCEPT UNDER THE MULCH BEDS. SLOPES GREATER THAN 3:1 SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET.
- PLANTS SHALL NOT BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED WITHIN THE IMMEDIATE AREA OF THE PLANTING.
- ALL TREES SHALL BE BALLED AND BUR LAPPED UNLESS OTHERWISE NOTED.
- ANY PROPOSED PLANT MATERIAL SUBSTITUTIONS SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE, THE TOWN OF HENNIKER STAFF AND THE LANDSCAPE ARCHITECT.
- WHERE APPLICABLE THE CONTRACTOR SHALL HAVE ALL FALL TRANSPLANTING HAZARD PLANTS DUG IN THE SPRING.THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT. LAYOUT TO BE APPROVED BY OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.
- PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY; HAVE NORMAL GROWTH HABITS; WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE FROM DEFECTS AND INJURIES.
- CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL.
- ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION. PROVISION SHALL BE MADE FOR A GROWTH GUARANTEE OF AT LEAST ONE YEAR FROM THE DATE OF ACCEPTANCE FOR TREES AND SHRUBS. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE EQUAL TO THAT STATED ABOVE.
- INsofar AS IT IS PRACTICABLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. ANY PLANTS NOT INSTALLED DURING THIS PERIOD WILL BE REJECTED.
- QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- ALL PLANTS SHALL BE PLANTED IN AMENDED TOP SOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACK FILLING PROGRESSES. PLANTING MIX TO BE AS SHOWN ON PLANTING DETAILS. LARGE PLANTING AREAS TO INCORPORATE FERTILIZER AND SOIL CONDITIONERS AS STATED IN PLANTING SPECIFICATIONS.
- PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE BALL ONLY.
- PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION.
- NO PLANT, EXCEPT GROUND COVERS/PERENNIALS, SHALL BE PLANTED LESS THAN TWO FEET FROM EXISTING STRUCTURES AND SIDEWALKS.
- SET ALL PLANTS PLUMB AND STRAIGHT. SET AT SUCH LEVEL THAT, A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE PLANT IN THE CENTER OF THE PIT.
- ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES AS A RESULT OF CONSTRUCTION OPERATIONS. ALL EXISTING TREES SHALL BE FERTILIZED WITH A REGULAR GARDEN FERTILIZER (5-10-5) UPON COMPLETION OF WORK. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE TRUNK. CONTRACTOR TO ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH SHARP TOOLS AND FILLED AROUND WITH TOPSOIL. COMPLETELY SATURATE THESE AREAS WITH WATER. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR IS TO PROTECT ALL EXISTING TREES TO REMAIN BY ERECTING TREE PROTECTION FENCE AT THE DRIP LINE. THIS WILL ENSURE NO COMPACTION OF THE ROOT MASS.
- ALL PLANTING BEDS SHALL BE MULCHED WITH 3" LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH. MULCH SHALL NOT COVER ROOT FLARE OF TREES.
- THE PURPOSE OF THIS PLAN IS FOR LANDSCAPE PURPOSES ONLY.
- THE OWNER AND THEIR REPRESENTATIVE SHALL BE RESPONSIBLE FOR PROVIDING, PROTECTING AND MAINTAINING ALL LANDSCAPING IN HEALTHY AND GROWING CONDITION, AND REPLACING IT WHEN NECESSARY TO INSURE CONTINUOUS CONFORMANCE WITH THESE GUIDELINES. ANY LANDSCAPE ELEMENT THAT DIES, OR IS OTHERWISE REMOVED, SHALL BE PROMPTLY REPLACED WITH THE SAME, IF NOT SIMILAR TO. HEIGHT OR TEXTURE ELEMENT AS ORIGINALLY INTENDED. IN ADDITION, LANDSCAPED AREAS SHALL BE KEPT FREE OF ALL DEBRIS, RUBBISH, WEEDS AND OVERGROWN TURF GRASS. IF THE OWNERSHIP OF A SITE IS CONVEYED TO A NEW PROPERTY OWNER, THE NEW OWNER SHALL BE RESPONSIBLE FOR MAINTAINING ALL LANDSCAPING IN ACCORDANCE WITH THE APPROVED FINAL LANDSCAPING PLAN.
- ALL NEW PLANTING AREAS, LAWN AND SOD SHALL BE PROVIDED WITH AN IRRIGATION SYSTEM. DRIP IRRIGATION SHALL BE USED IN ALL PLANTING AREAS.
- INVASIVE SPECIES AND/OR TOXIC PLANTS SUCH AS POISON IVY, POISON OAK, POISON SUMAC AND/OR GIANT HOG WEED SHALL BE MANAGED ACCORDING TO ACCEPTED HORTICULTURAL TECHNIQUES AND PROVISIONS CREATED BY THE STATE OF NH AND THE STANDARDS OF ANSI A300.7.

LANDSCAPE LEGEND:

	BOTONICAL NAME / COMMON NAME	SIZE #	REMARKS	MATURE HT.	MATURE WIDTH
DECIDUOUS SHADE TREE					
4	ACER SACCHARUM 'COMMEMORATION' / COMMEMORATION SUGAR MAPLE	2.5"	CAL. B#B	40'-60'	30'-40'
SMALL DECIDUOUS TREE					
3	PRUNUS SUBHIRTELLA 'AUTUMNALIS' / AUTUMN FLOWERING CHERRY	2.5"	CAL. B#B	20'-30'	20'-30'
DECIDUOUS UPRIGHT					
5	ACER RUBRUM 'KARPICK' / KARPICK RED MAPLE	2.5"	CAL. B#B	40'-60'	15'-20'
LARGE EVERGREEN TREE					
5	ABIES FRASERI / FRASER FIR	6'	HT. B#B	30'-40'	20'-30'
NARROW EVERGREEN					
9	THUJA OCCIDENTALLIS NIGRA / DARK AMERICAN ABORVITAE	6'	HT. B#B	30'-40'	15'-20'
6	THUJA OCCIDENTALIS 'TECHNY' / ARBORVITAE, MISSION	6'	HT. B#B	10-15'	6-8'
EVERGREEN SHRUB MEDIUM					
23	JUNIPERUS VIRGINIANA ' GREY OWL' / GREY OWL JUNIPER	30"	B#B	2'-3'	6'-8'
22	J. CHINENSIS ' PFITZERIANA COMPACTA' / COMPACT PFITZER JUNIPER	30"	B#B	2'-3'	5'-6'
5	JUNIPERUS CHINENSIS 'SEAGREEN' / SEAGREEN JUNIPER	30"	B#B	5'-6'	4'-5'
4	TAXUS MEDIA 'GREENWAVE' / GREENWAVE SPREADING YEW	30"	B#B	3'-4'	6'-8'
EVERGREEN GROUNDCOVER					
5	LEUCOTHOE FONTANESIANA "SILVER RUN" / SILVER RUN LEUCOTHOE	5	GAL.	2-3"	3-4'
DECIDUOUS SHRUB LARGE					
3	HYDRANGEA PANICULATA 'LITTLE QUICK FIRE'	4'	HT. B#B	8'-10'	8'-10'
2	CORNUS RACEMOSA / GREY DOGWOOD	4'	HT. B#B	8'-10'	8'-10'
DECIDUOUS SHRUB MEDIUM					
10	CARYOPTERIS CLANDONENSIS DARK KNIGHT / DARK KNIGHT SPIREA	5	GAL.	3'-4'	4'-5'
DECIDUOUS SHRUB SMALL					
14	ILEX VERTICILLATA 'RED SPRITE' / RED SPRITE WINTERBERRY	3	GAL.	3'-4'	3'-4'
14	SPIRAEA JAPONICA LITTLE PRINCESS / LITTLE PRINCESS SPIRAEA	3	GAL.	3'-4'	2'-3'
SHRUB ROSE					
7	ROSA KNOCKOUT 'DOUBLE' / DOUBLE KNOCKOUT ROSE	3	GAL.	3'-4'	3'-4'
PERENNIAL/ GRASSES					
70	PERENNIALS	2	GAL.	2-3'	2-3'



The Dubai Group, Inc.
136 Harvey Road, Bldg B101
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Engineers

Planners

Surveyors

TheDubayGroup.com

REVISIONS:

REV.	DATE:	COMMENT:	BY:

DRAWN BY: REK
CHECKED BY: DGM
DATE: OCT 11, 2023
SCALE:
FILE: 541--LANDSCAPE
DEED REF: BOOK 3804
PAGE 2385

PROJECT:

**HENNIKER FAMILY
DENTISTRY**

(MAP 5B LOT 187-A)
MAPLE STREET
HENNIKER, NH

FOR

**OSOFSON INVESTMENTS,
LLC**

154 ELM STREET
MILFORD, NH 03055

OWNER

**DIAS FAMILY REVOCABLE
TRUST OF 2009 SCOTT R
DIAS & CATHERINE A DIAS
TRUSTEES**

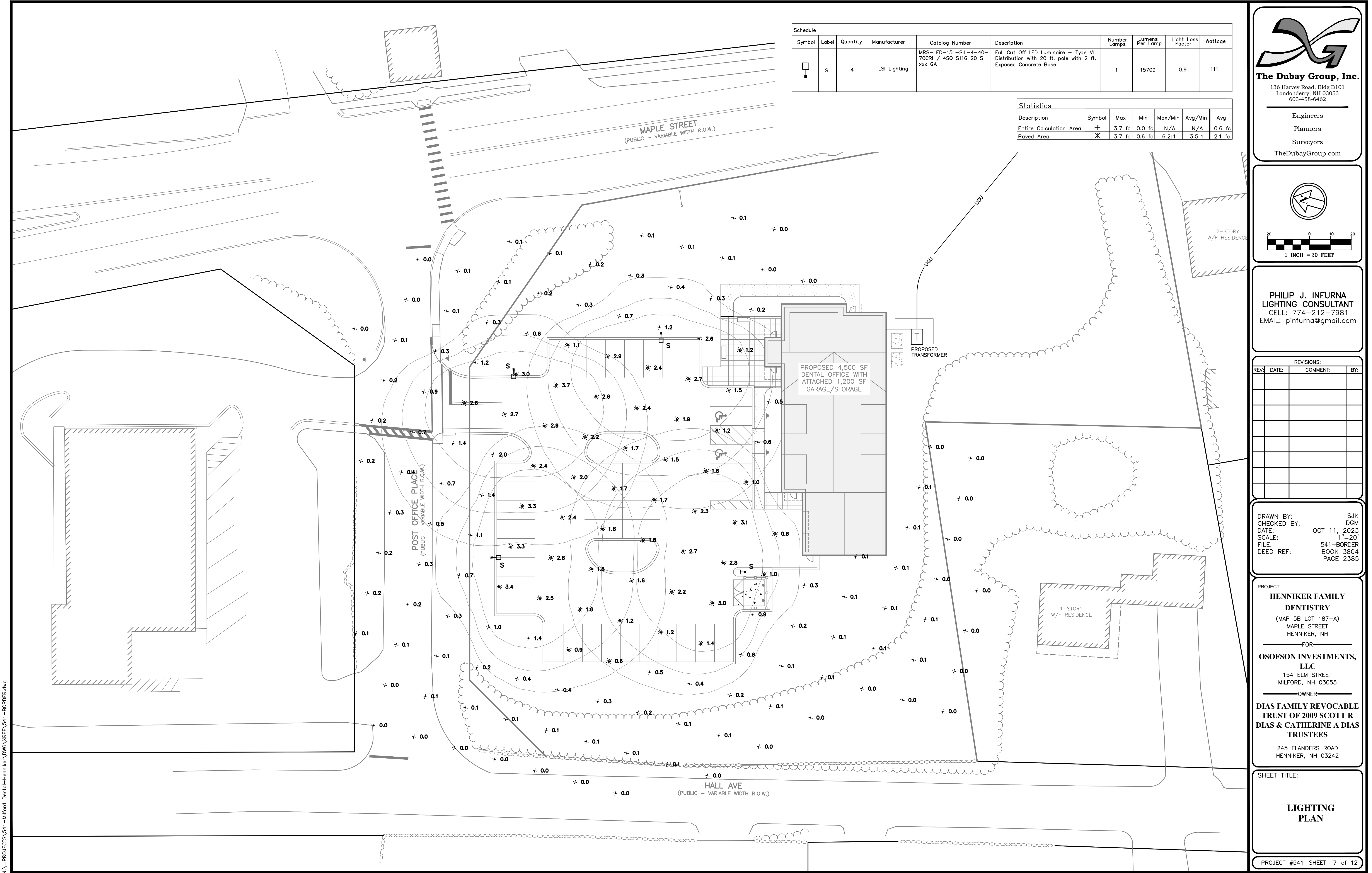
245 FLANDERS ROAD
HENNIKER, NH 03242

SHEET TITLE:

**LANDSCAPE
DETAILS**

PROJECT #541 SHEET 6 of 12

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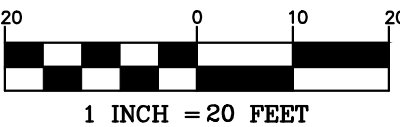
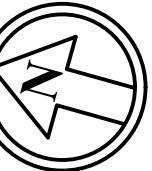
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REVISIONS:			
REV	DATE	COMMENT	BY

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CHECKED BY: DGM
DATE: OCT 11, 2023
SCALE: 1"=20'
FILE: 541-BORDER
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PAGE 2385

PROJECT:
HENNIKER FAMILY DENTISTRY
(MAP 5B LOT 187-A)
MAPLE STREET
HENNIKER, NH

FOR
OSOFSON INVESTMENTS, LLC
154 ELM STREET
MILFORD, NH 03055

OWNER
DIAS FAMILY REVOCABLE TRUST OF 2009 SCOTT R DIAS & CATHERINE A DIAS TRUSTEES
245 FLANDERS ROAD
HENNIKER, NH 03242

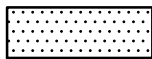

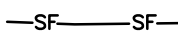
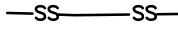
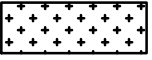

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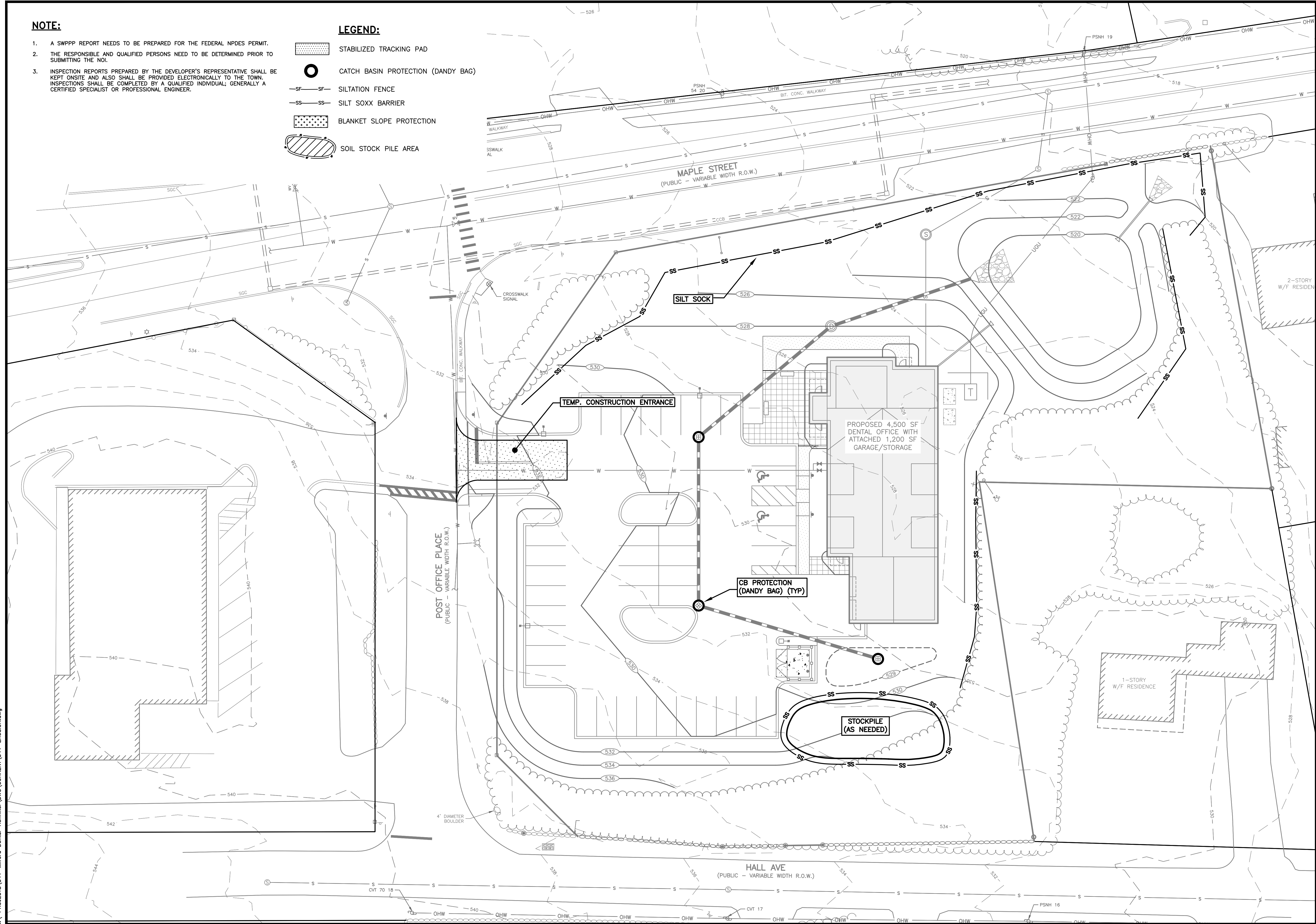
LIGHTING PLAN

NOTE:

1. A SWPPP REPORT NEEDS TO BE PREPARED FOR THE FEDERAL NPDES PERMIT.
2. THE RESPONSIBLE AND QUALIFIED PERSONS NEED TO BE DETERMINED PRIOR TO SUBMITTING THE NOI.
3. INSPECTION REPORTS PREPARED BY THE DEVELOPER'S REPRESENTATIVE SHALL BE KEPT ONSITE AND ALSO SHALL BE PROVIDED ELECTRONICALLY TO THE TOWN. INSPECTIONS SHALL BE COMPLETED BY A QUALIFIED INDIVIDUAL; GENERALLY A CERTIFIED SPECIALIST OR PROFESSIONAL ENGINEER.

LEGEND:

-  STABILIZED TRACKING PAD
-  CATCH BASIN PROTECTION (DANDY BAG)
-  SILTATION FENCE
-  SILT SOXX BARRIER
-  BLANKET SLOPE PROTECTION
-  SOIL STOCK PILE AREA



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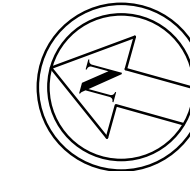
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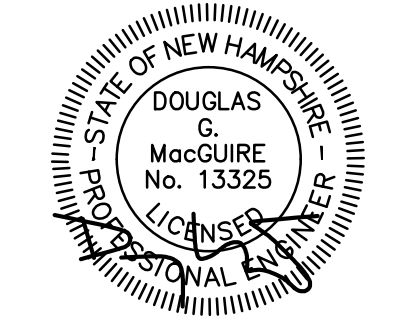
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Surveyors

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CHECKED BY: DGM
DATE: OCT 11, 2023
SCALE: 1"=20'
FILE: 541-EROSION
DEED REF:

PROJECT:
HENNIKER FAMILY DENTISTRY
(MAP 5B LOT 187-A)
MAPLE STREET
HENNIKER, NH
FOR

OSOFSO INVESTMENTS, LLC
154 ELM STREET
MILFORD, NH 03055
OWNER

DIAS FAMILY REVOCABLE TRUST OF 2009 SCOTT R DIAS & CATHERINE A DIAS TRUSTEES

245 FLANDERS ROAD
HENNIKER, NH 03242

SHEET TITLE:

EROSION CONTROL PLAN

PROJECT #541 SHEET 8 of 12

CONSTRUCTION SEQUENCE

1. PRIOR TO CONSTRUCTION, AN INITIAL PRE CONSTRUCTION MEETING(S) SHALL TAKE PLACE WITH THE CONTRACTOR, OWNER, TOWN AGENTS.
2. THIS SITE WILL REQUIRE A USEPA NPDES PERMIT FOR STORMWATER DISCHARGE FOR THE SITE CONSTRUCTION SINCE THE DISTURBANCE EXCEEDS ONE ACRE. THE CONSTRUCTION SITE OPERATOR SHALL DEVELOP AND IMPLEMENT A CONSTRUCTION STORM WATER POLLUTION PREVENTION PLAN (SWPPP), WHICH SHALL REMAIN ON SITE AND MADE ACCESSIBLE TO THE PUBLIC. A COMPLETED NOTICE OF TERMINATION (NOT) SHALL BE SUBMITTED TO NPDES PERMITTING AUTHORITY WITHIN 30 DAYS AFTER EITHER OF THE FOLLOWING CONDITIONS HAVE BEEN MET: FINAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERMITTEE IS RESPONSIBLE; OR ANOTHER OPERATOR/PERMITTEE HAS ASSUMED CONTROL OVER ALL AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED.
3. INSTALL PERIMETER CONTROLS, I.E SILT FENCE AND/OR SILT/SOXX AROUND THE LIMITS OF DISTURBANCE BEFORE ANY EARTH MOVING OPERATION.
4. CONSTRUCT TEMPORARY CONSTRUCTION EXIT.
5. CLEAR AND GRUB WITHIN AREAS OF DISTURBANCE UNLESS OTHERWISE NOTED.
6. REMOVE AND STOCKPILE MATERIALS AS REQUIRED. STOCKPILE SHALL BE SURROUNDED WITH AN EROSION CONTROL DEVICE TO PREVENT EROSION. STOCKPILE AREAS ARE LIMITED AND THUS MANAGEMENT OF MATERIALS WILL BE REQUIRED.
7. SHAPE PROPOSED DRAINAGE PONDS, DITCHES AND/OR SWALES.
8. PERFORM ROUGH SITE GRADING. INSTALL DRAINAGE SYSTEMS AND UTILITIES.
9. INSTALL UNDERGROUND UTILITIES AND PLACE EROSION CONTROL MEASURES AROUND ANY CATCH BASINS PRIOR TO DIRECTING ANY RUNOFF TO THEM. DRAINAGE SYSTEMS SHALL BE CONSTRUCTED AND STABILIZED PRIOR TO DIRECTING ANY FLOW TO THEM. ALL SIDE SLOPES SHALL BE STABILIZED WITHIN 72 HOURS.
10. LAYOUT AND INSTALL ALL BURIED UTILITIES AND SERVICES UP TO 10' OF THE PROPOSED BUILDING FOUNDATIONS. CAP AND MARK TERMINATIONS OR LOG SWING TIES.
11. FINISH GRADE SITE, BACKFILL ROAD SUBBASE GRAVEL IN. PROVIDE TEMPORARY EROSION PROTECTION TO DITCHES AND SWALES WHERE APPLICABLE, IN THE FORM OF MULCHING, JUTE MATTING OR STONE CHECK DAMS.
12. ANY PERMANENT DITCHES AND SWALES SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
13. PLACE BINDER LAYER OF PAVEMENT.
14. AFTER ALL DRAINAGE AND ROADWAY IMPROVEMENTS (NOT INCLUDING FINAL LAYER OF PAVEMENT) HAVE BEEN COMPLETED, BEGIN CONSTRUCTION OF THE BUILDING FOUNDATIONS AND CONNECT TO SITE UTILITIES. BEGIN BUILDING CONSTRUCTION.
15. PLANT LANDSCAPING IN AREAS OUT OF WAY OF BUILDING CONSTRUCTION. PREPARE AND STABILIZE FINAL SITE GRADING BY ADDING TOPSOIL, SEED, MULCH AND FERTILIZER.
16. AFTER BUILDINGS ARE COMPLETED, FINISH ALL REMAINING LANDSCAPED WORK.
17. CONSTRUCT ASPHALT WEARING COURSE.
18. REMOVE TRAPPED SEDIMENTS FROM COLLECTION DEVICES AS APPROPRIATE, AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES UPON COMPLETION OF FINAL STABILIZATION OF THE SITE.

- THE TEMPORARY BMPs ASSOCIATED WITH THIS PROJECT WILL BE RESPONSIBLE FOR INSPECTION, OPERATION, AND MAINTENANCE.
2. EROSION CONTROL PROCEDURES SHALL CONFORM TO SECTION 645 OF THE "STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION OF THE NHDOT". EROSION CONTROL SHALL BE INSTALLED DOWNHILL OF ALL AREAS WHERE WORK WILL EXPOSE UNPROTECTED SOIL TO PREVENT SEDIMENT FROM ENTERING CATCH BASINS, DRAINAGE STRUCTURES AND/OR DRAINAGEWAYS. INSTALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES PRIOR TO ANY EARTH MOVING OPERATIONS. THE CONTRACTOR SHALL MANAGE THE PROJECT IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.
3. EROSION CONTROL DEVICES SHALL BE INSTALLED WHERE REQUIRED PRIOR TO ANY ON-SITE GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL. EROSION CONTROL MEASURES SHALL BE MAINTAINED DURING DEVELOPMENT AND SHALL BE CHECKED PERIODICALLY AND EXCESS SILT SHALL BE REMOVED.
4. ALL DISTURBED AREAS WHICH ARE FINISH GRADED SHALL BE LOAMED (6" MINIMUM) AND SEEDED. SEE SEEDING AND FERTILIZER SPECIFICATION. SEE SLOPE DESIGN AND/OR LANDSCAPE PLAN FOR ADDITIONAL INFORMATION.
5. ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY, AND WHICH WILL BE REGRADED LATER SHALL BE MACHINED STRAW MULCHED AND SEEDED WITH SLOPE STABILIZATION SEED MIXTURE TO PREVENT EROSION. STRAW MULCH SHALL BE APPLIED AT A RATE OF 2 TONS/ACRE.
6. ALL DRAINAGE SYSTEMS (DITCHES, SWALES, DRAINAGE PONDS/BASINS, ETC.) SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM. STORMWATER FLOWS ARE NOT TO BE DIRECTED TO THESE SYSTEMS UNTIL CONTRIBUTING AREAS HAVE ALSO BEEN FULLY STABILIZED.
7. CONTRACTOR SHALL PROVIDE DUST CONTROL MEASURES IN ACCORDANCE WITH NHDES, EPA & TOWN REQUIREMENTS FOR THE DURATION OF THE PROJECT. WATER FOR DUST CONTROL SHALL BE PROVIDED ON SITE. FUGITIVE DUST IS CONTROLLED IN ACCORDANCE WITH ENV-A 1000.
8. ALL EROSION CONTROLS ARE TO BE INSPECTED WEEKLY AND AFTER 0.5" OR GREATER OF RAINFALL WITHIN A 24 HOUR PERIOD.
9. ALL FILLS SHALL BE PLACED AND COMPACTED TO 90% MODIFIED PROCTOR DENSITY IN LAYERS NOT EXCEEDING 18 INCHES IN THICKNESS UNLESS OTHERWISE NOTED. FILL MATERIAL SHALL BE FREE FROM STUMPS, WOOD, ROOTS, ETC. AND SHALL NOT BE PLACED ON FROZEN FOUNDATION SUBGRADE.
10. SILT FENCES AND/OR SILT/STORM SHALL BE PERIODICALLY INSPECTED DURING THE LIFE OF THE PROJECT AND AFTER EACH STORM. ALL DAMAGED SILT FENCES AND/OR SILT/STORM SHALL BE REPAIRED. SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED IN A SECURE LOCATION.
11. PAVED AREAS MUST BE KEPT CLEAN AT ALL TIMES.
12. ALL DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER AREA.
13. THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION, BUT IN NO CASE SHALL EXCEED 5 ACRES AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS AFTER FINAL GRADING. EXPOSURE OF UNSTABILIZED SOILS SHALL BE TEMPORARILY STABILIZED AS SOON AS POSSIBLE BUT NO LATER THAN 45 DAYS OF INITIAL DISTURBANCE.
14. WINTERIZATION EFFORTS FOR AREAS NOT STABILIZED BY NOV. 1ST SHALL BE MADE BY THE APPROPRIATE USE OF MATTING, BLANKETS, MULCH AND SEEDING.
15. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - A. BASE COURSE GRAVELS HAS BEEN INSTALLED IN AREAS TO BE PAVED;
 - B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED; OR

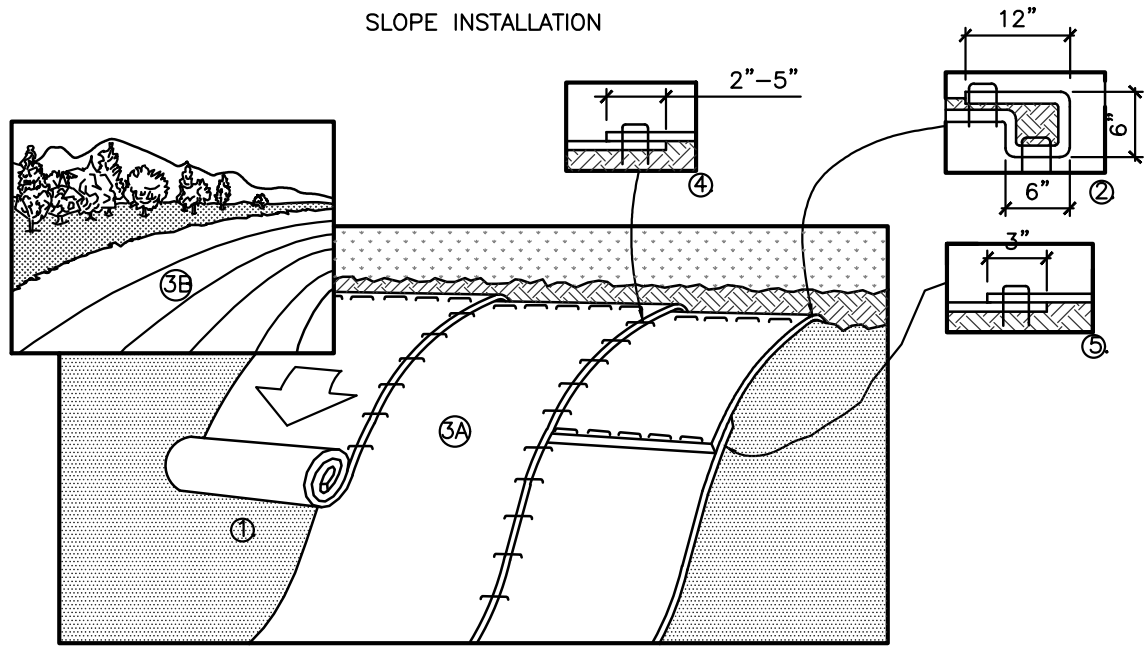
- D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
16. IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE CONTRACTOR SHALL BE REQUIRED TO IMMEDIATELY INSTALL AND MAINTAIN THE NECESSARY EROSION PROTECTION.
- SEEDING SPECIFICATION
1. TEMPORARY SEED
- A. TEMPORARY VEGETATIVE COVER SHOULD BE APPLIED WHERE EXPOSED SOIL SURFACES WILL NOT BE FINAL GRADED WITHIN 45 DAYS.
- B. SEED BED PREPARATION SHALL BE IN ACCORDANCE WITH THE NHDES STORMWATER MANAGEMENT MANUAL, VOLUME 3, TEMPORARY VEGETATION SECTION.
- C. SEEDING MIXTURE
- | MIXTURE | SPECIES | POUNDS PER ACRE | POUNDS PER 1,000 SQ. FT. |
|---------|--------------------|-----------------|--------------------------|
| | WINTER RYE | 112 | 2.50 |
| | OATS | 80 | 2.00 |
| | ANNUAL RYEGRASS | 40 | 1.00 |
| | PERENNIAL RYEGRASS | 30 | 0.17 |
| | TOTAL | 262 | 5.67 |
2. SEEDING SCHEDULE
- A. SPRING SEEDING USUALLY GIVES THE BEST RESULTS FOR ALL SEED MIXES OR WITH LEGUMES.
- B. PERMANENT SEEDING SHOULD BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST. IF SEEDING CANNOT BE DONE WITHIN THE SPECIFIED SEEDING DATES, MULCH ACCORDING TO THE NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOLUME 3, CONSTRUCTION PHASE EROSION AND SEDIMENT CONTROLS AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
3. ESTABLISHING A STAND OF GRASS
- A. STONES AND TRASH SHOULD BE REMOVED FROM LOAMED AREAS SO AS NOT TO INTERFERE WITH THE SEEDING PROCESS.
- B. WHERE THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN SOIL TO A DEPTH OF 2 INCHES BEFORE APPLYING FERTILIZER, LIME AND SEED.
- C. IF APPLICABLE, FERTILIZER AND ORGANIC SOIL AMENDMENTS SHOULD BE APPLIED DURING THE GROWING SEASON.
- D. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 600 POUNDS PER ACRE OR 13.8 POUNDS PER 1,000 SQUARE FEET OF LOW PHOSPHATE FERTILIZER (N-P2O5-K2O) OR EQUIVALENT. APPLY LIMESTONE (EQUIVALENT TO 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB. PER 1,000 SQUARE FEET).
- E. FERTILIZER SHOULD BE RESTRICTED TO A LOW PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER

MIXTURE	SPECIES	POUNDS PER ACRE	POUNDS PER 1,000 SQ. FT.
A	TALL FESCUE	20	0.45
	CREEPING RED FESCUE	20	0.45
	REDTOP	2	0.05
	TOTAL	42	0.95

5. ALTERNATE PERMANENT SEEDING FOR AREAS NOT RECEIVING LAWN OR LANDSCAPING SHALL BE AS FOLLOWS:
- A. THE NEW ENGLAND EROSION CONTROL/RESTORATION MIX CONTAINS A SELECTION OF NATIVE GRASSES AND WILDFLOWERS DESIGNED TO COLONIZE GENERALLY MOIST, RECENTLY DISTURBED SITES WHERE QUICK GROWTH OF VEGETATION IS DESIRED TO STABILIZE THE SOIL SURFACE. THIS MIX IS PARTICULARLY APPROPRIATE FOR DETENTION BASINS WHICH DO NOT NORMALLY HOLD STANDING WATER. THE PLANTS IN THIS MIX WILL TOLERATE INFREQUENT INUNDATION, BUT NOT CONSTANT FLOODING. IN SWAMPLAND, THE BEST RESULTS ARE OBTAINED WITH A SPRING OR EARLY FALL SEEDING. SUMMER AND FALL SEEDING CAN BE SUCCESSFUL WITH A LIGHT MULCHING OF WEED-FREE STRAW TO CONSERVE MOISTURE. LATE FALL AND WINTER DORMANT SEEDING REQUIRE A SLIGHT INCREASE IN THE SEEDING RATE. FERTILIZATION IS NOT REQUIRED UNLESS THE SOILS ARE PARTICULARLY INFERTILE.
- B. APPLICATION RATE: 35 LBS/ACRE 1245 SQ FT/LB
- C. SPECIES: SWITCHGRASS (Panicum caprue), CREEPING RED FESCUE (Festuca rubra), VIRGINIA WILD RYE (Elymus virginicus), FOX SEDGE (Carex vulpinoidea), CREEPING BENTGRASS (AGrostis stolonifera), SILKY WILD RYE (Elymus villosus), NODDING BUR-MARIGOLD (Bidens cernua), SOFT RUSH (Juncus effusus), GRASS-LEAVED GOLDENROD (Solidago graminifolia), SENSITIVE FERN (Onoclea sensibilis), JOE-PYE WEED (Eupatorium maculatum), BONESET (Eupatorium perfoliatum), FLAT-TOP ASTER (Aster umbellatus), NEW YORK ASTER (Aster novae-belgii), BLUE VERVAIN (Verbena hastata).

1. ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON ALL CURB CUTS WITH ANCHORED NETTING. EROSION OVER THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS;

1. THE CONTRACTOR SHALL TAKE WHATEVER MEASURES ARE NECESSARY TO PROTECT THE GRASS WHILE IT DEVELOPS.
2. TO BE ACCEPTABLE, SEEDED AREAS SHALL CONSIST OF A UNIFORM STAND OF AT LEAST 90 PERCENT ESTABLISHED PERMANENT GRASS SPECIES, WITH A UNIFORM COUNT OF AT LEAST 100 PLANTS PER SQUARE FOOT.
3. SEEDED AREAS WILL BE FERTILIZED AND RE-SEEDED AS NECESSARY TO INSURE VEGETATIVE ESTABLISHMENT.
4. THE SWALES WILL BE CHECKED WEEKLY AND REPAIRED WHEN NECESSARY, UNTIL ADEQUATE VEGETATION IS ESTABLISHED.
5. THE SILT FENCE AND/OR SILT/SOXX BARRIER SHALL BE CHECKED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.
6. SILT FENCE AND/OR SILT/SOXX SHALL BE REMOVED ONCE VEGETATION IS ESTABLISHED, AND DISTURBED AREAS RESULTING FROM SILT FENCE AND/OR SILT/SOXX REMOVAL SHALL BE PERMANENTLY SEEDED.

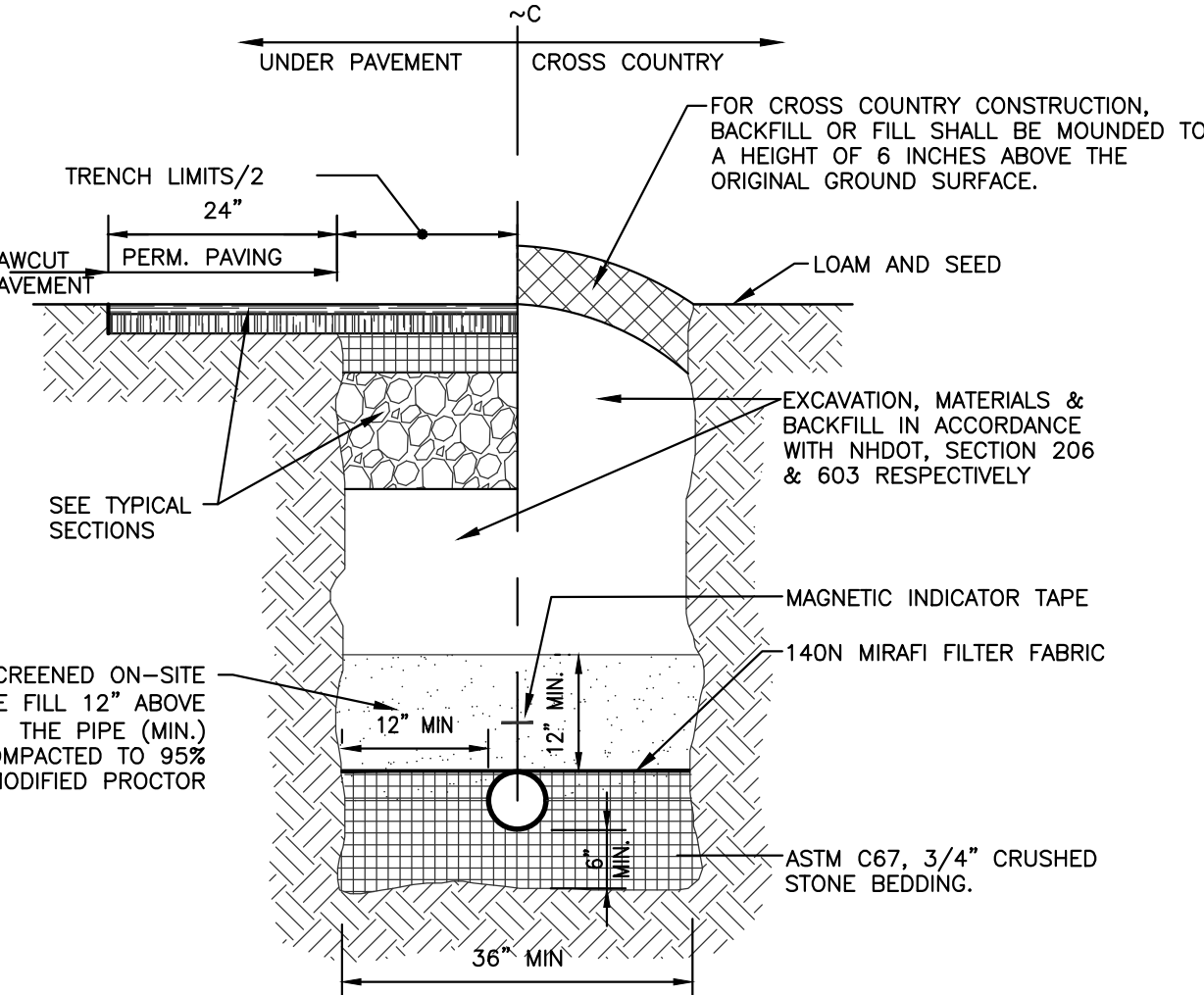


MATTING INSTALLATION NOTES

1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
3. ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" OVERLAP DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
5. CONSECUTIVE BLANKETS SLIPED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3' OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH.
6. IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.
7. INSTALL PRODUCT IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
8. MATTING IS REQUIRED ON ALL SLOPES STEEPER THAN 3:1.

NOT TO SCALE

(THIS DETAIL IS PROVIDED FOR AREAS THAT MAY REQUIRE
ADDITIONAL PROTECTION BASED ON FIELD CONDITIONS.)

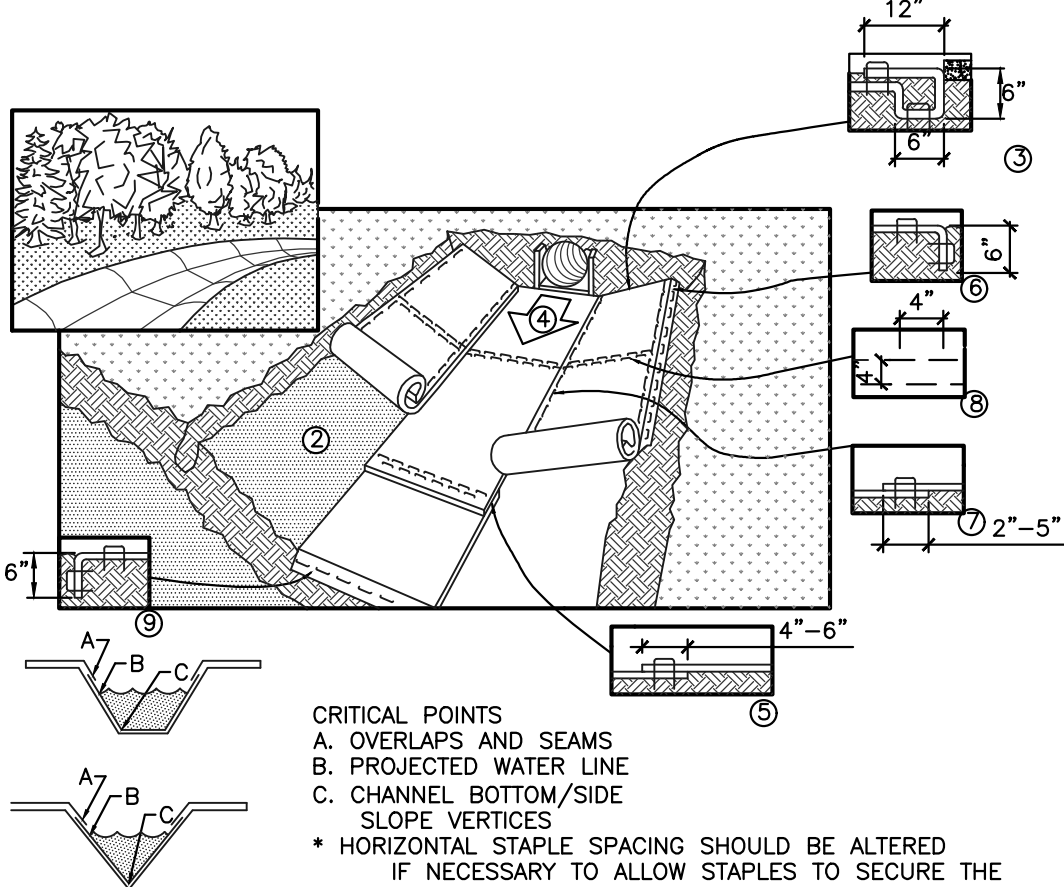


TYPICAL TRENCH DETAIL

NOT TO SCALE

CHANNEL INSTALLATION SPECIFICATIONS

1. INSTALL PRODUCT IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
2. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED, DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH THE PAPER SIDE DOWN.
3. BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE BLANKET IN A 6"DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
4. ROLL CENTER BLANKET IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL. BLANKETS WILL UNROLL WITH THE STAPLE/STAPLER SIDE OF THE SOFT SURFACE UP. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
5. PLACE CONSECUTIVE BLANKETS END OVER END (SHINGLE STYLE) WITH A 4"-6" OVERLAP. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4"(10") ON CENTER TO SECURE BLANKETS.
6. FULL-LENGTH EDGE OF BLANKETS AT TOP OF SIDE SLOPES MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6"DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
7. ADJACENT BLANKETS MUST BE OVERLAPPED APPROXIMATELY 2"-5" (DEPENDENT ON BLANKET TYPE) AND STAPLED TO ENSURE PROPER SEAM ALIGNMENT. PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE BLANKET BEING OVERLAPPED.
8. IN HIGH FLOW CHANNEL APPLICATIONS, A STAPLE CHECK SLOT IS RECOMMENDED AT 30' TO 40' INTERVALS. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER OVER ENTIRE WIDTH OF CHANNEL.



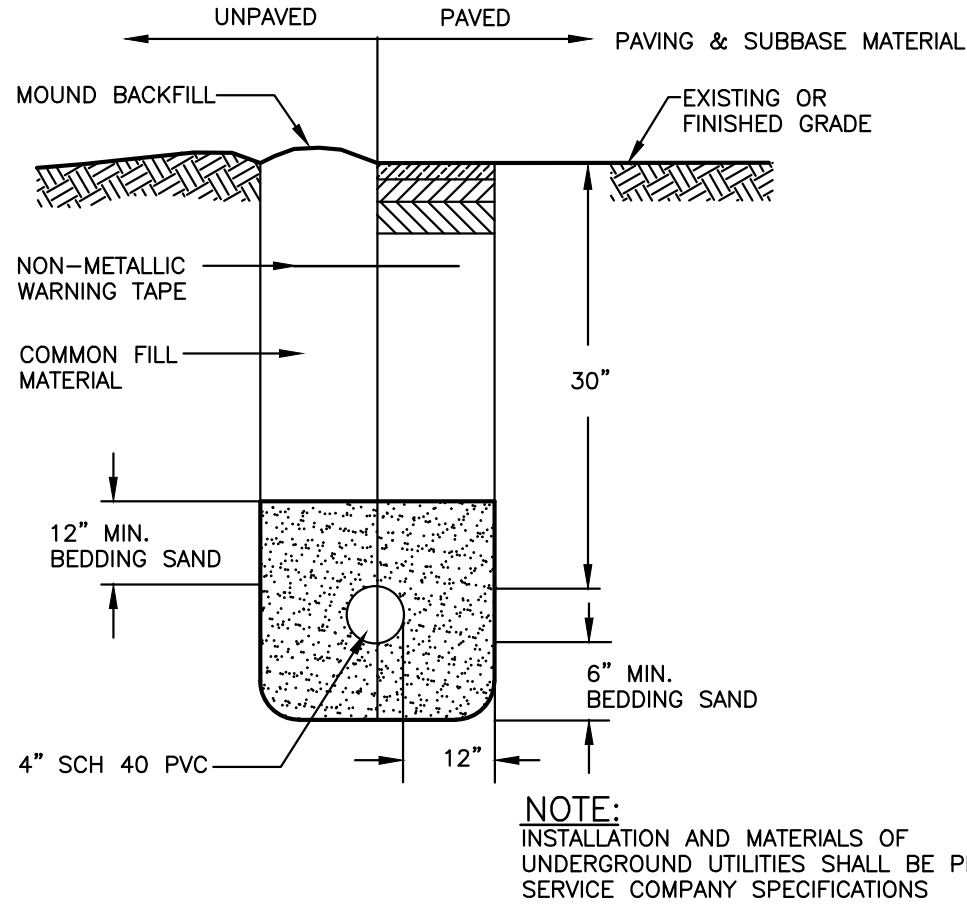
CRITICAL POINTS (5)

A. OVERLAPS AND SEAMS
B. PROJECTED WATER LINE
C. CHANNEL BOTTOM/SIDE
SLOPE VERTICES

- * HORIZONTAL STAPLE SPACING SHOULD BE ALTERED IF NECESSARY TO ALLOW STAPLES TO SECURE THE CRITICAL POINTS ALONG THE CHANNEL SURFACE.
- ** IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 cm) MAY BE NECESSARY TO PROPERLY ANCHOR THE BLANKETS.

NOT TO SCALE

(THIS DETAIL IS PROVIDED FOR AREAS THAT MAY REQUIRE
ADDITIONAL PROTECTION BASED ON FIELD CONDITIONS.)



UTILITY TRENCH DETAIL

NOT TO SCALE



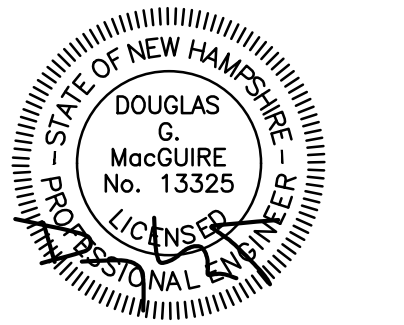
136 Harvey Road, Bldg B101
Londonderry, NH 03053
603-458-6462

Engineers

Planners

Surveyors

TheDubayGroup.com

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 CHECKED BY: DGM
 DATE: OCT 11, 2023
 SCALE:
 FILE: 541-DETAILS
 DEED REF: BOOK 3804
 PAGE 2385

PROJECT:

**HENNIKER FAMILY
DENTISTRY**

(MAP 5B LOT 187-A)
MAPLE STREET
HENNIKER, NH

—FOR—

**Osofson Investments,
LLC**

154 ELM STREET
MILFORD, NH 03055

—OWNER—

**DIAS FAMILY REVOCABLE
TRUST OF 2009 SCOTT R
DIAS & CATHERINE A DIAS
TRUSTEES**

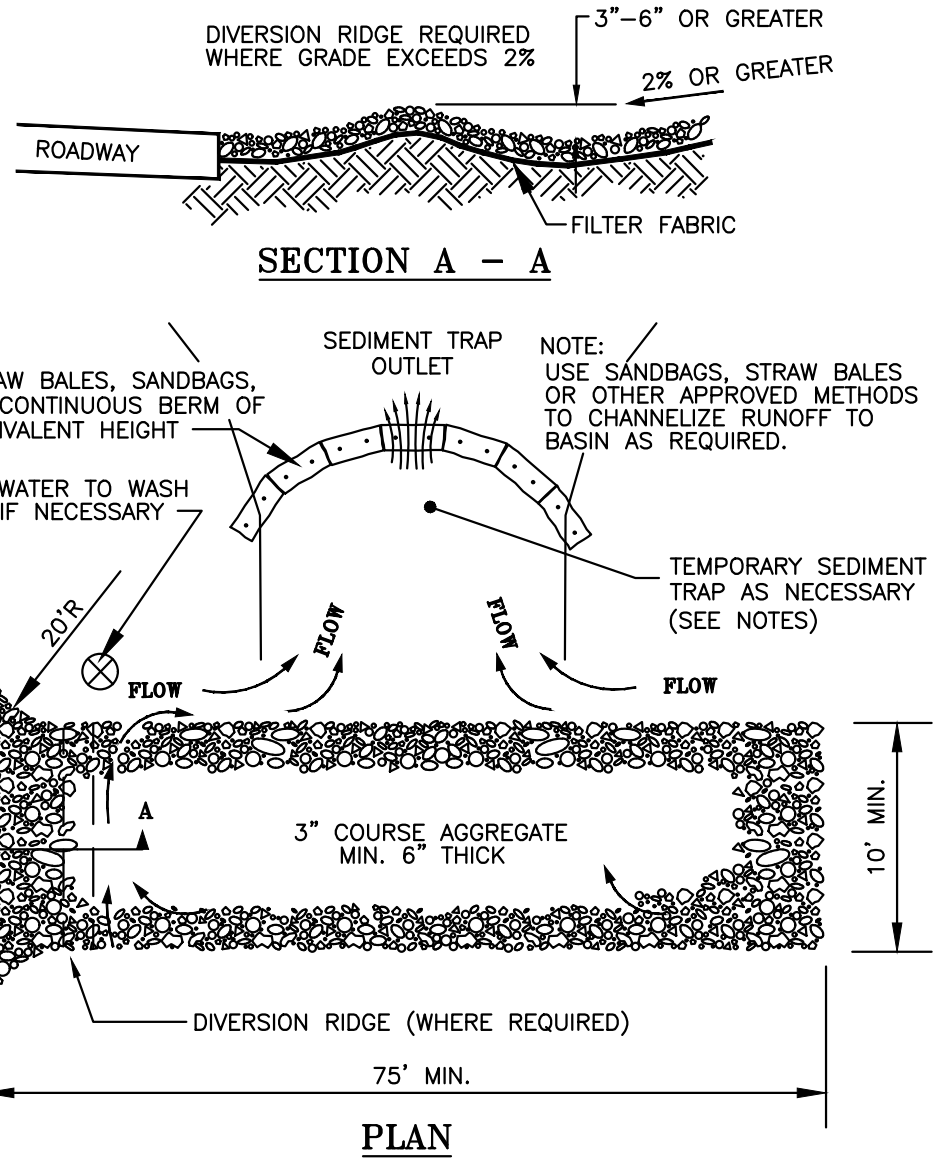
245 FLANDERS ROAD
HENNIKER, NH 03242

SHEET TITLE:

SITE DETAILS - A

PROJECT #541 SHEET 9 of 12

N:\PROJECTS\S41-Milford Dental-Hemiker\DWG\CURRENT\S41-DETAILS.dwg

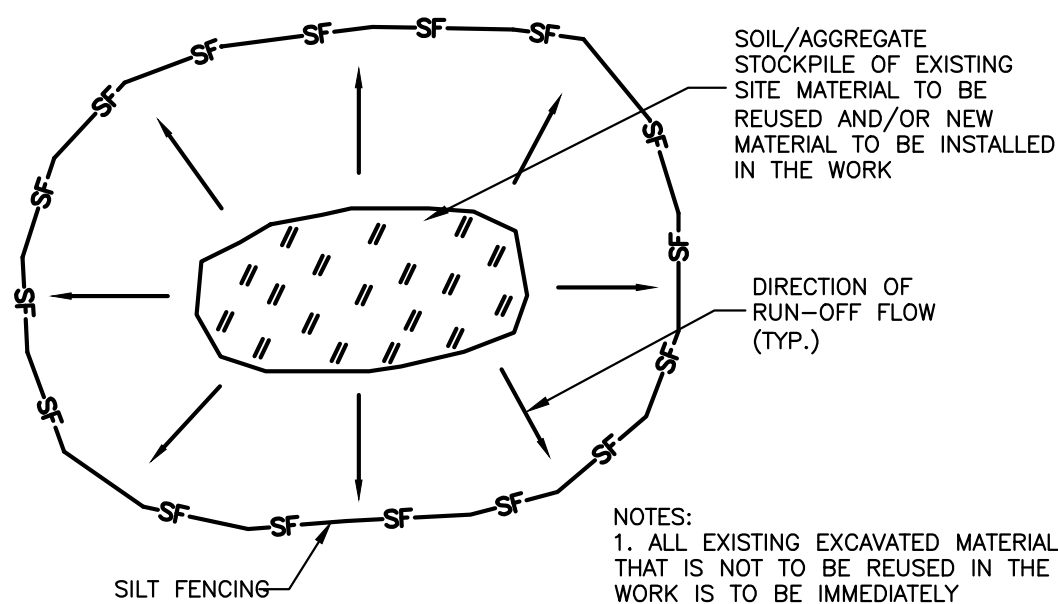


TEMPORARY CONSTRUCTION EXIT

1. THE MINIMUM STONE USED SHALL BE 3-INCH CRUSHED STONE.
2. THE MINIMUM LENGTH OF THE PAD SHALL BE 75 FEET, EXCEPT THAT THE MINIMUM LENGTH MAY BE REDUCED TO 50 FEET IF A 3-INCH TO 6-INCH HIGH BERM IS INSTALLED AT THE ENTRANCE OF THE PROJECT SITE.
3. THE PAD SHALL EXTEND THE FULL WIDTH OF THE CONSTRUCTION ACCESS ROAD OR 10 FEET, WHICHEVER IS GREATER.
4. THE PAD SHALL SLOPE AWAY FROM THE EXISTING ROADWAY.
5. THE PAD SHALL BE AT LEAST 6 INCHES THICK. A GEOTEXTILE FILTER FABRIC SHALL BE PLACED BETWEEN THE STONE PAD AND THE EARTH SURFACE BELOW THE PAD.
6. THE PAD SHALL BE MAINTAINED OR REPLACED WHEN MUD AND SOIL PARTICLES CLOG THE VOIDS IN THE STONE SUCH THAT MUD AND SOIL PARTICLES ARE TRACKED OFF-SITE.
7. A STABILIZED CONSTRUCTION EXIT CONSISTS OF A PAD OF STONE AGGREGATE PLACED ON A GEOTEXTILE FILTER FABRIC, LOCATED AT ANY POINT WHERE TRAFFIC WILL BE LEAVING A CONSTRUCTION SITE TO AN EXISTING ACCESS ROAD WAY OR OTHER PAVED SURFACE. ITS PURPOSE IS TO REDUCE OR ELIMINATE THE TRACKING OF SEDIMENT ONTO PUBLIC ROADS BY CONSTRUCTION VEHICLES. THIS HELPS PROTECT RECEIVING WATERS FROM SEDIMENT CARRIED BY STORMWATER RUNOFF FROM PUBLIC ROADS.
8. ONLY CONSTRUCTION TRAFFIC LEAVING THE SITE SHALL TO USE THE TEMPORARY STABILIZED EXIT. CONSIDER PROVIDING A SEPARATE, UNPROTECTED, ENTRANCE FOR TRAFFIC ENTERING THE SITE. THIS WILL INCREASE THE LONGEVITY OF THE STABILIZED EXIT BY ELIMINATING HEAVY LOADS ENTERING THE SITE AND REDUCING THE TOTAL TRAFFIC OVER THE DEVICE.
9. LOCATE CONSTRUCTION ENTRANCES AS SHOWN ON THE PLAN.
10. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR MAINTENANCE OF ANY MEASURES USED TO TRAP SEDIMENT.
11. THE EXIT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY.
12. WHEN THE CONTROL PAD BECOMES INEFFECTIVE, THE STONE SHALL BE REMOVED ALONG WITH THE COLLECTED SOIL MATERIAL, REGRADED ON SITE, AND STABILIZED. THE ENTRANCE SHALL THEN BE RECONSTRUCTED.
13. THE CONTRACTOR SHALL SWEEP THE PAVEMENT AT EXITS WHENEVER SOIL MATERIALS ARE TRACKED ONTO THE ADJACENT PAVEMENT OR TRAVELED WAY.
14. WHEN WHEEL WASHING IS REQUIRED, IT SHALL BE CONDUCTED ON AN AREA STABILIZED WITH AGGREGATE, WHICH DRAINS INTO AN APPROVED SEDIMENT-TRAPPING DEVICE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING STORM DRAINS, DITCHES, OR WATERWAYS.
15. NATURAL DRAINAGE THAT CROSSES THE LOCATION OF THE STONE PAD SHALL BE INTERCEPTED AND PIPED BENEATH THE PAD, AS NECESSARY, WITH SUITABLE OUTLET PROTECTION.
16. THESE REQUIREMENTS MAY BE ADJUSTED TO SPECIFIC SITE CONDITIONS PER THE DIRECTION OF JURISDICTIONAL TOWN AND STATE AUTHORITIES, PER SWPPP INSPECTION/MANAGEMENT PROCESSES, AND PER BEST MANAGEMENT PRACTICES.

STABILIZED TRACKING PAD DETAIL

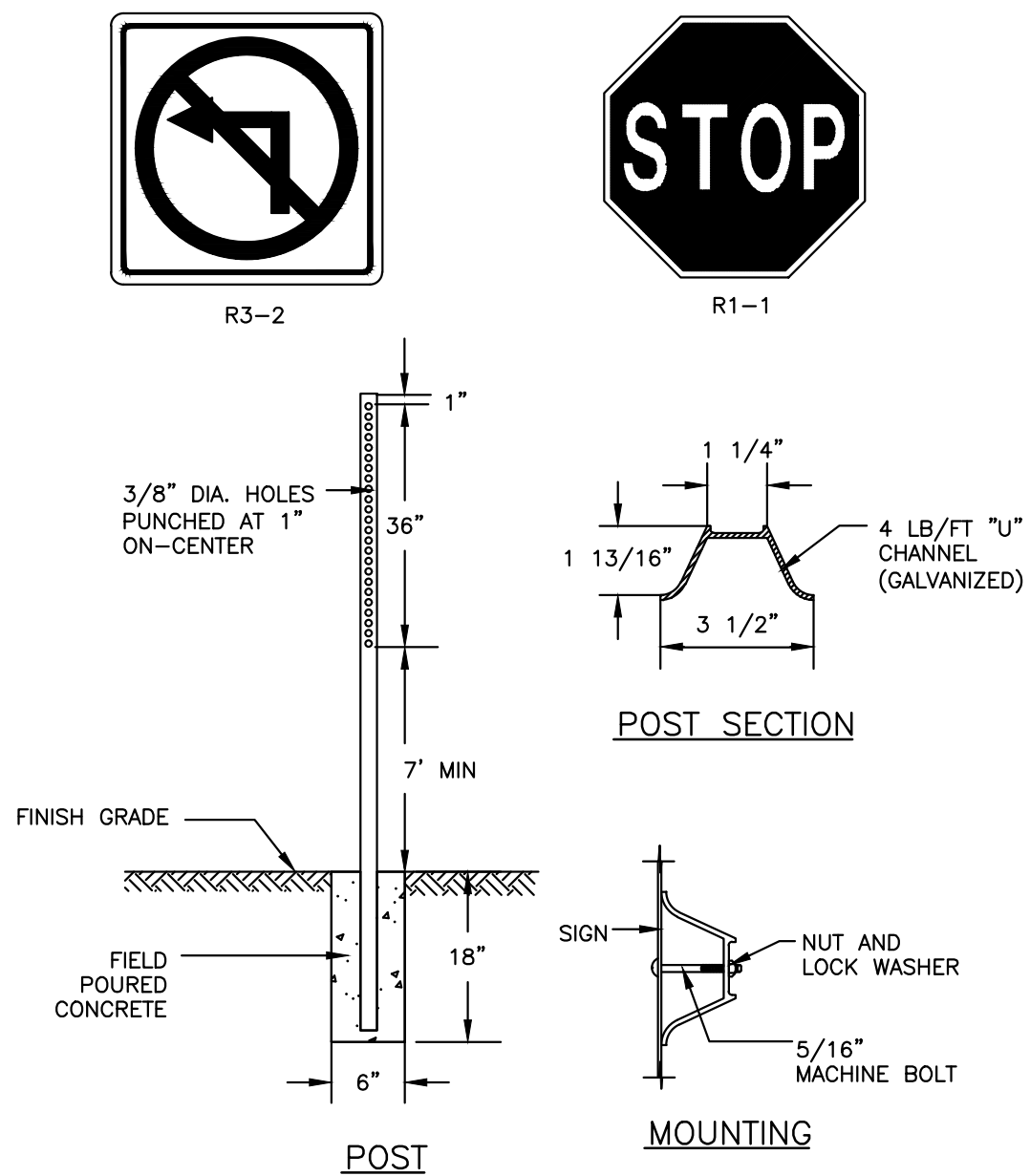
NOT TO SCALE



- NOTES:
1. ALL EXISTING EXCAVATED MATERIAL THAT IS NOT TO BE REUSED IN THE WORK IS TO BE IMMEDIATELY REMOVED FROM THE SITE AND PROPERLY DISPOSED OF.
 2. RESTORE STOCKPILE SITES TO PRE-EXISTING PROJECT CONDITION AND RESEED AS REQUIRED.
 3. STOCKPILE HEIGHTS MUST NOT EXCEED 35'. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER.

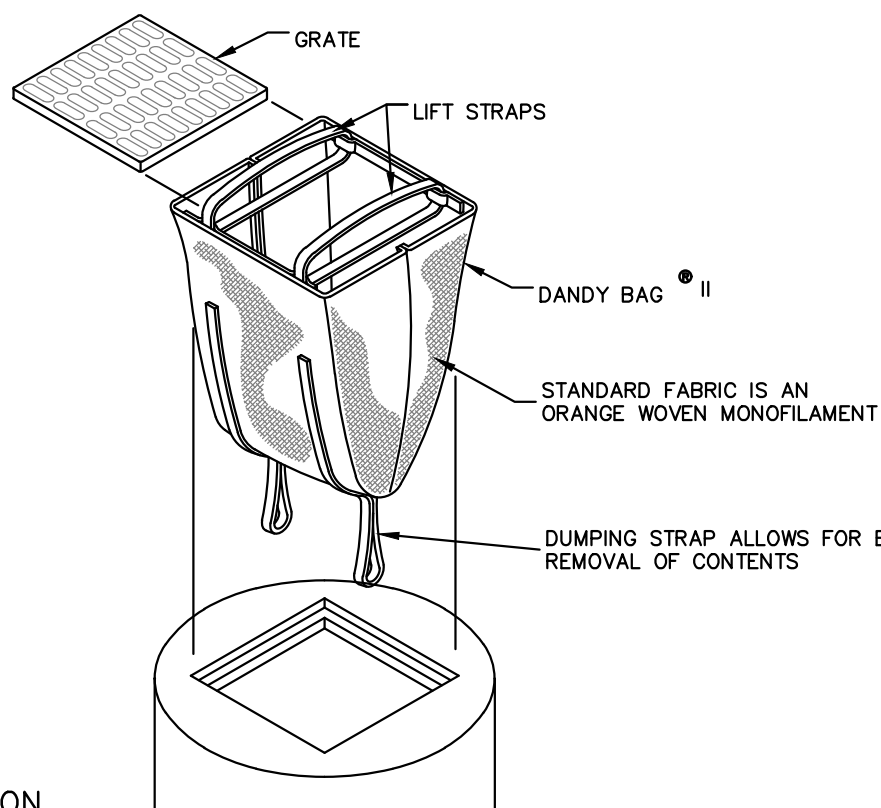
MATERIALS STOCKPILE DETAIL

NOT TO SCALE



TYPICAL SIGN POST DETAIL

NOT TO SCALE



INSTALLATION

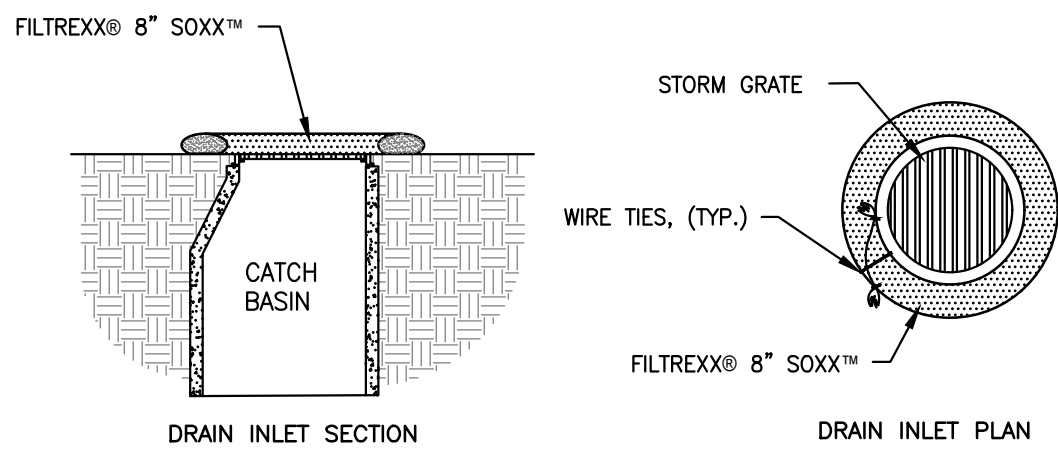
INSTALLATION: REMOVE THE GRATE FROM CATCH BASIN. IF USING OPTIONAL OIL ABSORBENTS, PLACE ABSORBENT PILLOW IN UNIT. STAND THE GRATE ON END. MOVE THE TOP LIFTING STRAPS OUT OF THE WAY AND PLACE THE GRATE INTO THE DANDY BAG® II SO THAT THE GRATE IS BELOW THE TOP STRAPS AND ABOVE THE LOWER STRAPS. HOLDING THE LIFTING DEVICES, INSERT THE GRATE INTO THE INLET.

MAINTENANCE

MAINTENANCE: REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM VICINITY OF UNIT AFTER EACH STORM EVENT. AFTER EACH STORM EVENT AND AT REGULAR INTERVALS, LOOK INTO THE DANDY BAG II. IF THE CONTAINMENT AREA IS MORE THAN 1/3 FULL OF SEDIMENT, THE UNIT MUST BE EMPTIED. TO EMPTY UNIT, LIFT THE UNIT OUT OF THE INLET USING THE LIFTING STRAPS AND REMOVE THE GRATE. IF USING OPTIONAL OIL ABSORBENTS, REPLACE ABSORBENT WHEN NEAR SATURATION.

DANDY BAG® II

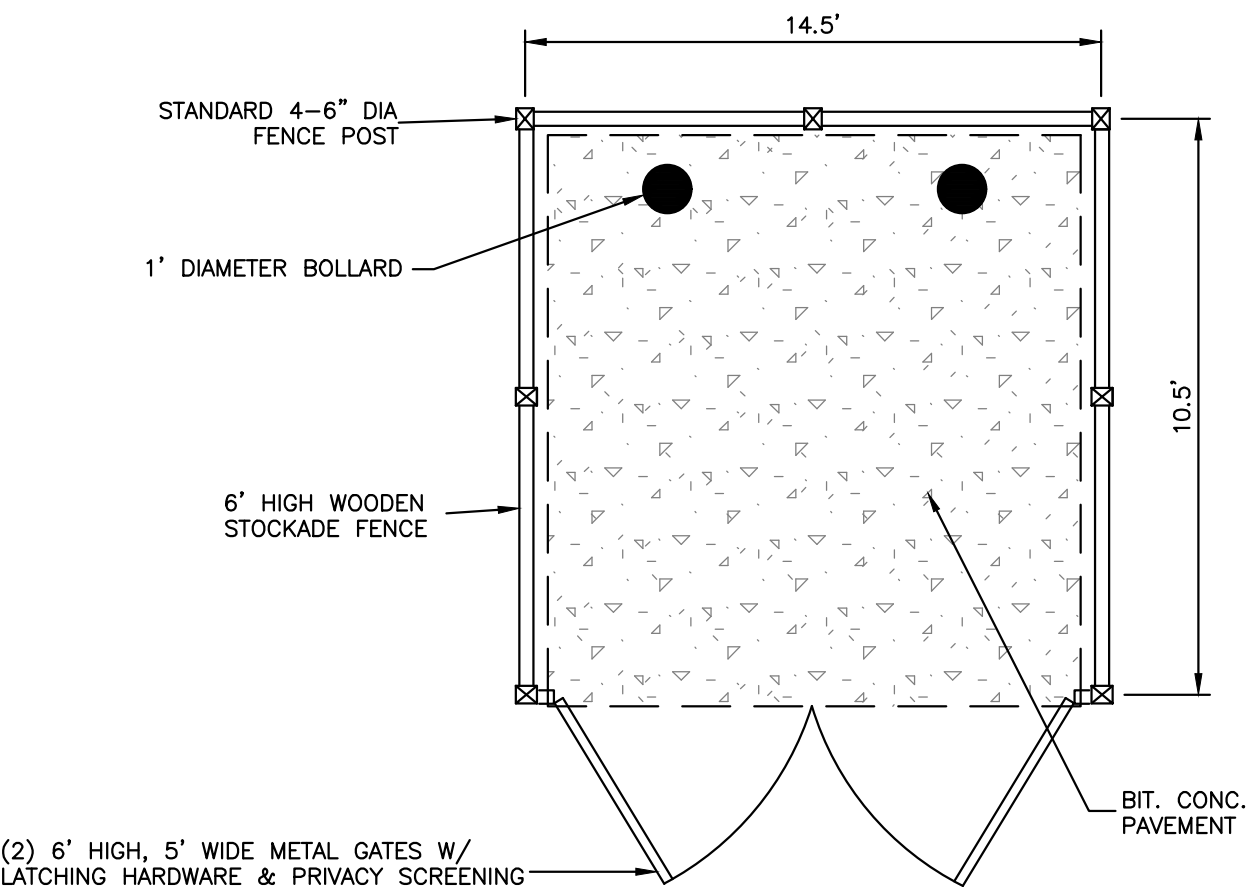
NOT TO SCALE



- NOTES:
1. ALL MATERIAL TO MEET FILTREXX® SPECIFICATIONS.
 2. FILTER MEDIA FILL TO MEET APPLICATION REQUIREMENTS.
 3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

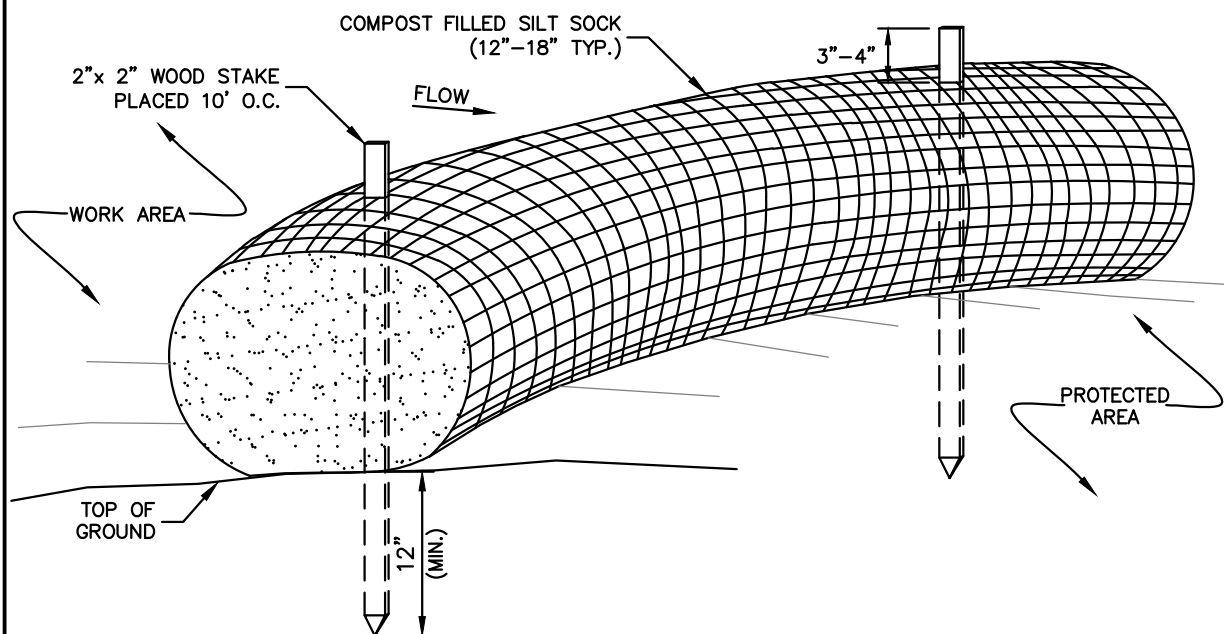
SILT SOCK INLET PROTECTION DETAIL

NOT TO SCALE



DUMPSTER ENCLOSURE

NOT TO SCALE



NOTES

SILT SOCK SHALL BE FILTREXX™ SILT SOCK™ OR APPROVED EQUIVALENT.

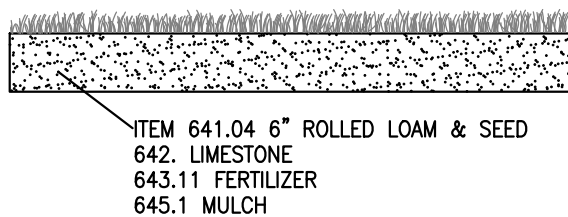
SEE SPECIFICATIONS FOR SOCK SIZE AND COMPOST FILL REQUIREMENTS.

SILT SOCK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED AS NEEDED.

COMPOST MATERIAL SHALL BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.

SILT SOCK DETAIL

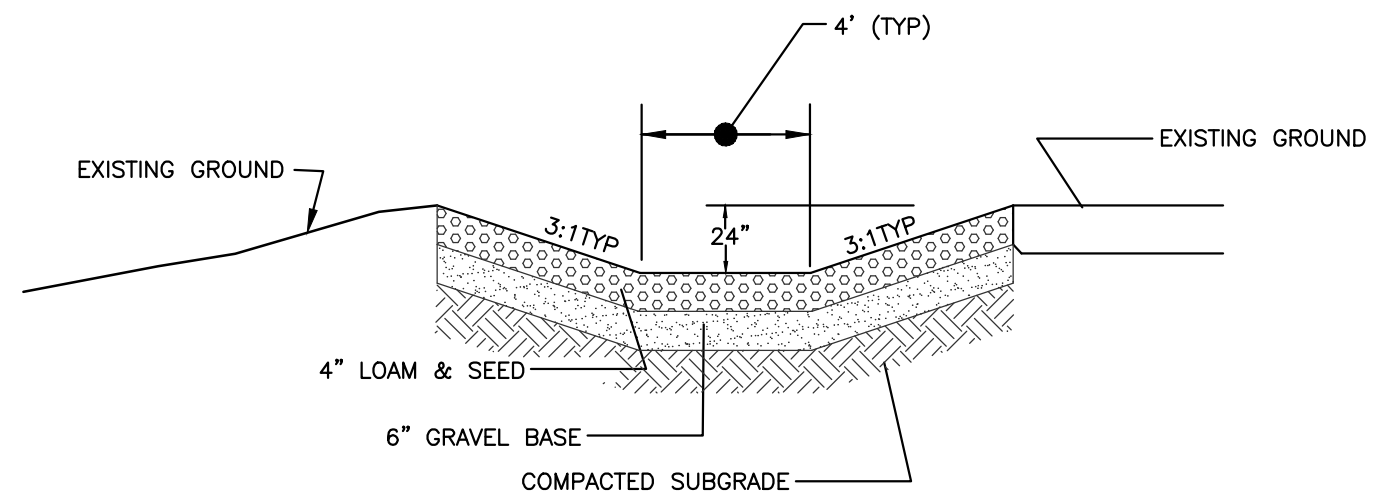
NOT TO SCALE



LOAM & SEED DETAIL

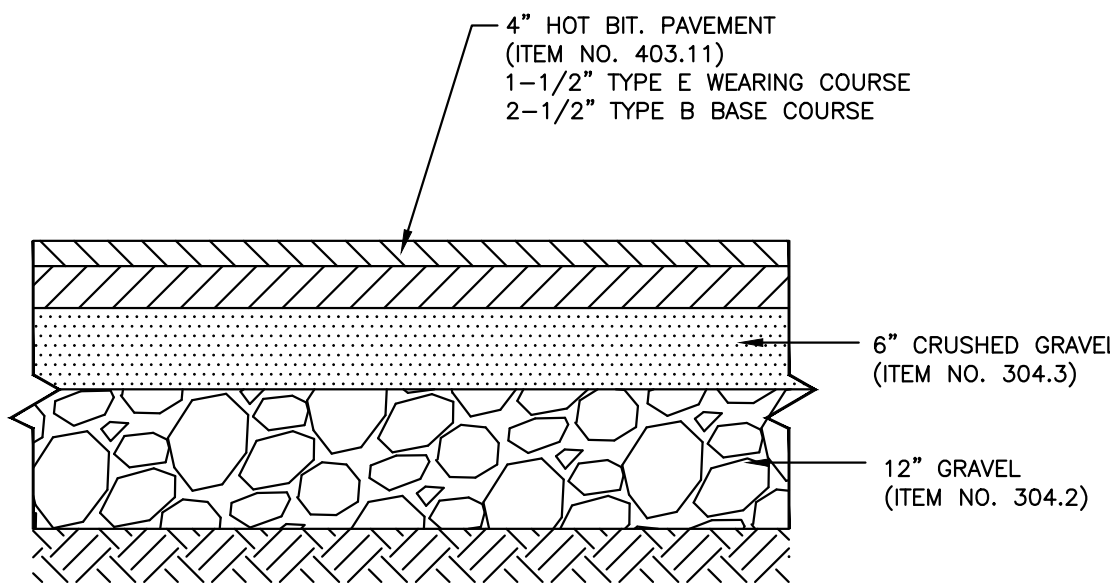
NOT TO SCALE

(FOR PERMANENT STABILIZATION OF AREAS, TYPICALLY LOCATED AROUND PERIMETER OF FINAL EXCAVATION WORK LIMITS.)



TYPICAL GRASS LINED SWALE

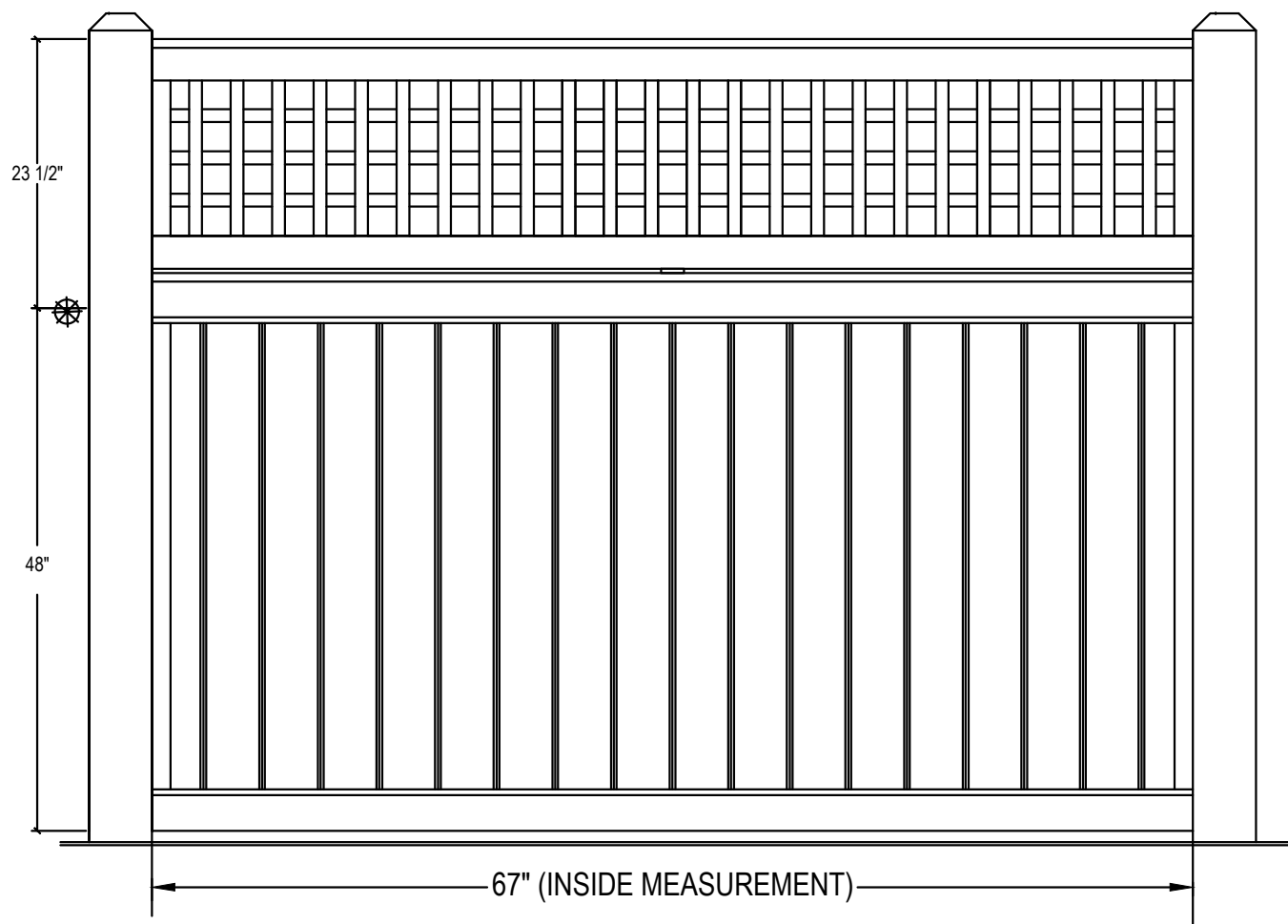
NOT TO SCALE



TYPICAL DRIVEWAY AND PARKING LOT SECTION

NOT TO SCALE

Note: For H/V lattice, there must be equal openings top to bottom of topper (at ends).



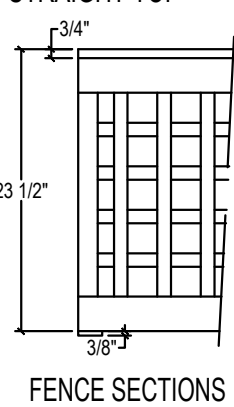
Material Finish:

All material to be made of Northern White Cedar, visible small tight knots (STK).
Battens - Smooth Sawn to the dimensions shown.
Rails - Smooth Sawn and moulded to size shown.
Section caps - Smooth sawn to the dimensions shown.
End Cleats - Smooth Sawn all 4 sides.

Product Note:

Fence "Toppers" are short sections of fence that is placed on top of another fence, usually a ship-lap board fence. They run between the posts just as the fence below it. Walk gates are manufactured with a topper as well to continue the look of the fence line.

STRAIGHT TOP

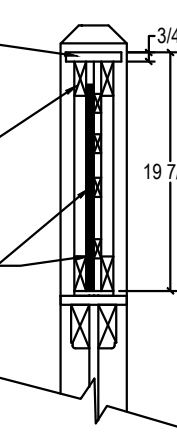


FENCE SECTIONS

3/4"x4-5/8" LATTICE CAP

1"x2-7/8" HORIZONTAL RAIL

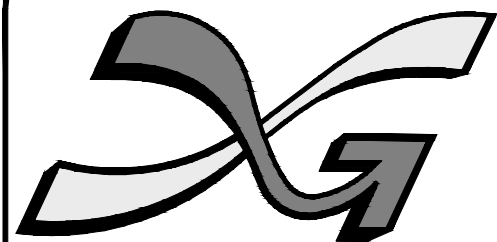
1-1/8"x5/8" LATTICE BATTEN



FENCE SECTION

Nominal Width	Act. Rail Length	Posts O.C.	Inside Posts
6 ft.	67"	72"	67"

PRIVACY FENCE — CEDAR WITH TOPPER — ENGLISH LATTICE



The Dubai Group, Inc.

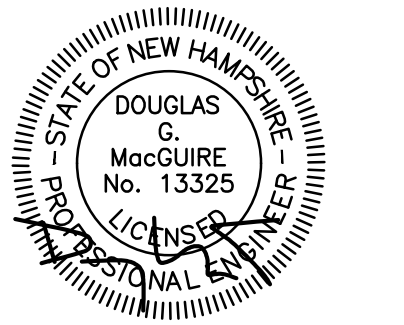
136 Harvey Road, Bldg B101
Londonderry, NH 03053
603-458-6462

Engineers

Planners

Surveyors

TheDubayGroup.com



REVISIONS:			
REV	DATE	COMMENT	BY

DRAWN BY: SJK
CHECKED BY: DGM
DATE: OCT 11, 2023
SCALE:
FILE: 541-DETAILS
DEED REF: BOOK 3804
PAGE 2385

PROJECT:
HENNIKER FAMILY DENTISTRY
(MAP 5B LOT 187-A)
MAPLE STREET
HENNIKER, NH

FOR
OSOFSON INVESTMENTS, LLC
154 ELM STREET
MILFORD, NH 03055

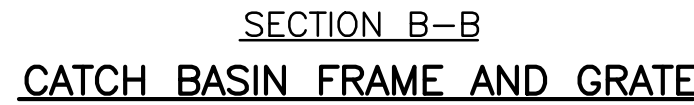
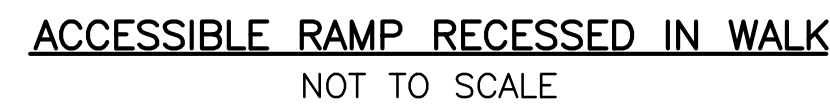
OWNER
DIAS FAMILY REVOCABLE TRUST OF 2009 SCOTT R DIAS & CATHERINE A DIAS TRUSTEES

245 FLANDERS ROAD
HENNIKER, NH 03242

SHEET TITLE:

SITE DETAILS - B

PROJECT #541 SHEET 10 of 12



NOTES:
1. PAINT COLOR TO BE "YELLOW" FOR
DOUBLE YELLOW CENTERLINE AND "WHITE"
FOR ALL OTHER ITEMS

GENERAL NOTES:
ALL PAVEMENT MARKINGS SHALL BE IN CONFORMANCE WITH
THE CURRENT EDITION OF MUTCD.

WIDTH OF LINES SHALL VARY NO MORE THAN 1/4 INCH FROM THAT SPECIFIED.

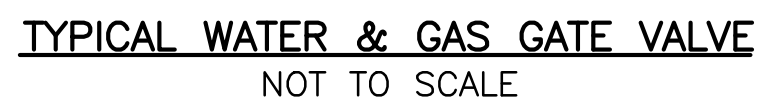
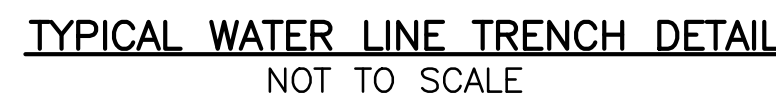
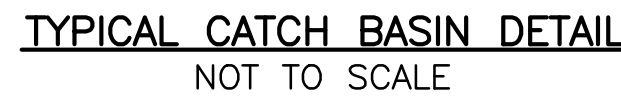
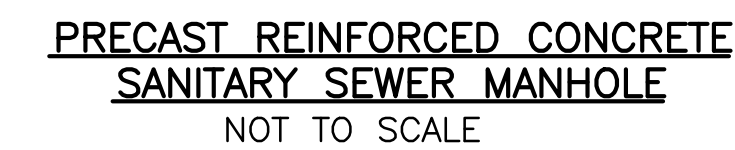
THE WET FILM THICKNESS OF A PAINTED LINE SHALL BE A MINIMUM OF 15 MILS THROUGHOUT THE ENTIRE WIDTH AND LENGTH OF LINE SPECIFIED.

OVERSPRAY SHALL BE KEPT TO AN ABSOLUTE MINIMUM.

NOTE:
ALL STOP BARS (18") AND DOUBLE YELLOW
LINES (4") SHALL BE THERMOPLASTIC

TYPICAL PAVEMENT STRIPING DETAILS

NOT TO SCALE



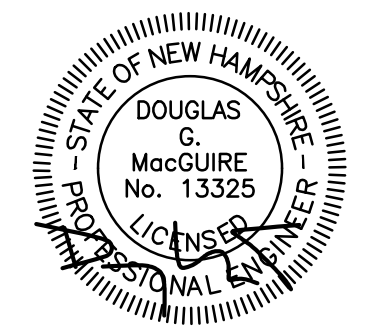
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Londonderry, NH 03053
603-458-6462

Engineers

Planners

Surveyors

TheDubayGroup.com

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DATE: OCT 11, 2023
SCALE:
FILE: 541-DETAILS
DEED REF: BOOK 3804
PAGE 2385

PROJECT:

**HENNIKER FAMILY
DENTISTRY**

(MAP 5B LOT 187-A)
MAPLE STREET
HENNIKER, NH

_____FOR_____

**OSOFSON INVESTMENTS,
LLC**
154 ELM STREET
MILFORD, NH 03055

OWNER

**DIAS FAMILY REVOCABLE
TRUST OF 2009 SCOTT R
DIAS & CATHERINE A DIAS
TRUSTEES**

245 FLANDERS ROAD
HENNIKER, NH 03242

SHEET TITLE:

SITE DETAILS - C

PROJECT #541 SHEET 11 of 12

CONSTRUCTION CRITERIA:

1. FOUNDATION PREPARATION — THE FOUNDATION AREA SHALL BE CLEARED OF TREES, LOGS, STUMPS, ROOTS, BRUSH, BOULDERS, SOD, AND RUBBISH. IF NEEDED TO ESTABLISH VEGETATION, THE TOPSOIL AND SOD SHALL BE STOCKPILED AND SPREAD ON THE COMPLETED DAM AND SPILLWAYS. FOUNDATION SURFACES SHALL BE SLOPED NO STEEPER THAN 1:1. THE FOUNDATION AREA SHALL BE THOROUGHLY SCARIFIED BEFORE PLACEMENT OF THE MATERIAL. THE SURFACE SHALL HAVE MOISTURE ADDED OR IT SHALL BE COMPACTED IF NECESSARY SO THAT THE FIRST LAYER OF FILL MATERIAL CAN BE COMPACTED AND BONDED TO THE FOUNDATIONS.

THE CUTOFF TRENCH AND ANY OTHER REQUIRED EXCAVATIONS SHALL BE DUG TO THE LINES AND GRADES SHOWN ON THE PLANS OR AS STAKED IN THE FIELD. IF THEY ARE SUITABLE, EXCAVATED MATERIALS SHALL BE USED IN THE PERMANENT FILL.

EXISTING STREAM CHANNELS IN THE FOUNDATION AREA SHALL BE SLOPED NO STEEPER THAN 1:1 AND DEEPEMED AND WIDENED AS NECESSARY TO REMOVE ALL STONES, GRAVEL, SAND, STUMPS, ROOTS, AND OTHER OBJECTIONABLE MATERIAL AND TO ACCOMMODATE COMPACTION EQUIPMENT.

FOUNDATION AREAS SHALL BE KEPT FREE OF STANDING WATER WHEN FILL IS BEING PLACED ON THEM.

2. FILL PLACEMENT — THE MATERIAL PLACED IN THE FILL SHALL BE FREE OF DETRIMENTAL AMOUNTS OF SOD, ROOTS, FROZEN SOIL, STONES MORE THAN 6 INCHES IN DIAMETER (EXCEPT FOR ROCK FILLS), AND OTHER OBJECTIONABLE MATERIAL.

SELECTED BACKFILL MATERIAL SHALL BE PLACED AROUND STRUCTURES, PIPE CONDUITS, AND ANTISEEP COLLARS AT ABOUT THE SAME RATE ON ALL SIDES TO PREVENT DAMAGE FROM UNEQUAL LOADING.

THE PLACING AND SPREADING OF FILL MATERIAL SHALL BE STARTED AT THE LOWEST POINT OF THE FOUNDATION AND THE FILL BROUGHT UP IN HORIZONTAL LAYERS OF SUCH THICKNESS THAT THE REQUIRED COMPACTION CAN BE OBTAINED. THE FILL SHALL BE CONSTRUCTED IN CONTINUOUS HORIZONTAL LAYERS EXCEPT WHERE OPENINGS OR SECTIONALIZED FILLS ARE REQUIRED. IN THOSE CASES, THE SLOPE OF THE BONDING SURFACES BETWEEN THE EMBANKMENT IN PLACE AND THE EMBANKMENT TO BE PLACED SHALL NOT BE STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL. THE BONDING SURFACE SHALL BE TREATED THE SAME AS THAT SPECIFIED FOR THE FOUNDATION SO AS TO INSURE A GOOD BOND WITH THE NEW FILL.

THE DISTRIBUTION AND GRADATION OF MATERIALS SHALL BE SUCH THAT NO LENSES, POCKETS, STREAKS, OR LAYERS OF MATERIAL DIFFER SUBSTANTIALLY IN TEXTURE OF GRADATION FROM THE SURROUNDING MATERIAL. IF IT IS NECESSARY TO USE MATERIALS OF VARYING TEXTURE AND GRADATION, THE MORE IMPERVIOUS MATERIAL SHALL BE PLACED IN THE CENTER AND UPSTREAM PARTS OF THE FILL. IF ZONED FILLS OF SUBSTANTIALLY DIFFERING MATERIALS ARE SPECIFIED, THE ZONES SHALL BE PLACED ACCORDING TO THE LINES AND GRADES SHOWN ON THE DRAWINGS. THE COMPLETE WORK SHALL CONFORM TO THE LINES, GRADES, AND ELEVATIONS SHOWN ON THE DRAWINGS OR AS STAKED IN THE FIELD.

3. MOISTURE CONTROL — THE MOISTURE CONTENT OF THE FILL MATERIAL SHALL BE ADEQUATE FOR OBTAINING THE REQUIRED COMPACTION. MATERIAL THAT IS TOO WET SHALL BE DRIED TO MEET THIS REQUIREMENT, AND MATERIAL THAT IS TOO DRY SHALL HAVE WATER ADDED AND MIXED UNTIL THE REQUIREMENT IS MET.

4. COMPACTION — CONSTRUCTION EQUIPMENT SHALL BE OPERATED OVER THE AREAS OR EACH LAYER OF FILL TO INSURE THAT THE REQUIRED COMPACTION IS OBTAINED. SPECIAL EQUIPMENT SHALL BE USED IF NEEDED TO OBTAIN THE REQUIRED COMPACTION.

IF A MINIMUM REQUIRED DENSITY IS SPECIFIED, EACH LAYER OF FILL SHALL BE COMPACTED AS NECESSARY TO OBTAIN THAT DENSITY.

FILL ADJACENT TO STRUCTURES, PIPE CONDUITS, AND ANTISEEP COLLARS SHALL BE COMPACTED TO A DENSITY EQUIVALENT TO THAT OF THE SURROUNDING FILL BY MEANS OF HAND TAMPING OR MANUALLY DIRECTED POWER TAMPER OR PLATE VIBRATORS. FILL ADJACENT TO CONCRETE STRUCTURES SHALL NOT BE COMPACTED UNTIL THE CONCRETE IS STRONG ENOUGH TO SUPPORT THE LOAD.

5. PROTECTION — A PROTECTIVE COVER OF VEGETATION SHALL BE ESTABLISHED ON ALL EXPOSED SURFACES OF THE EMBANKMENT, SPILLWAY, AND BORROW AREA IF SOIL AND CLIMATIC CONDITIONS PERMIT. IF SOIL OR CLIMATIC CONDITIONS PRECLUDE THE USE OF VEGETATION AND PROTECTION IS NEEDED, NON-VEGETATIVE MEANS, SUCH AS MULCHES OR GRAVEL, MAY BE USED. IN SOME PLACES, TEMPORARY VEGETATION MAY BE USED UNTIL CONDITIONS PERMIT ESTABLISHMENT OF PERMANENT VEGETATION. THE EMBANKMENT AND SPILLWAY SHALL BE FENCED IF NECESSARY TO PROTECT THE VEGETATION.

SEEDBED PREPARATION, SEEDING, FERTILIZING, AND MULCHING SHALL COMPLY WITH THE APPROPRIATE VEGETATIVE BMPS.

6. CONCRETE — THE MIX DESIGN AND TESTING OF CONCRETE SHALL BE CONSISTENT WITH THE STRENGTH REQUIREMENTS OF THE JOB. MIX REQUIREMENTS OR NECESSARY STRENGTH SHALL BE SPECIFIED. THE TYPE OF CEMENT, AIR ENTRAINMENT, SLUMP, AGGREGATE, OR OTHER PROPERTIES SHALL BE SPECIFIED IF NECESSARY. ALL CONCRETE IS TO CONSIST OF A WORKABLE MIX THAT CAN BE PLACED AND FINISHED IN AN ACCEPTABLE MANNER. NECESSARY CURING SHALL BE SPECIFIED. REINFORCING STEEL SHALL BE PLACED AS INDICATED ON THE PLANS AND SHALL BE HELD SECURELY IN PLACE DURING CONCRETE PLACEMENT. SUBGRADES AND FORMS SHALL BE INSTALLED TO LINE AND GRADE, AND THE FORMS SHALL BE MORTAR TIGHT AND UNYIELDING AS THE CONCRETE IS PLACED.

7. DO NOT DISCHARGE SEDIMENT—LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO INFILTRATION BASINS.

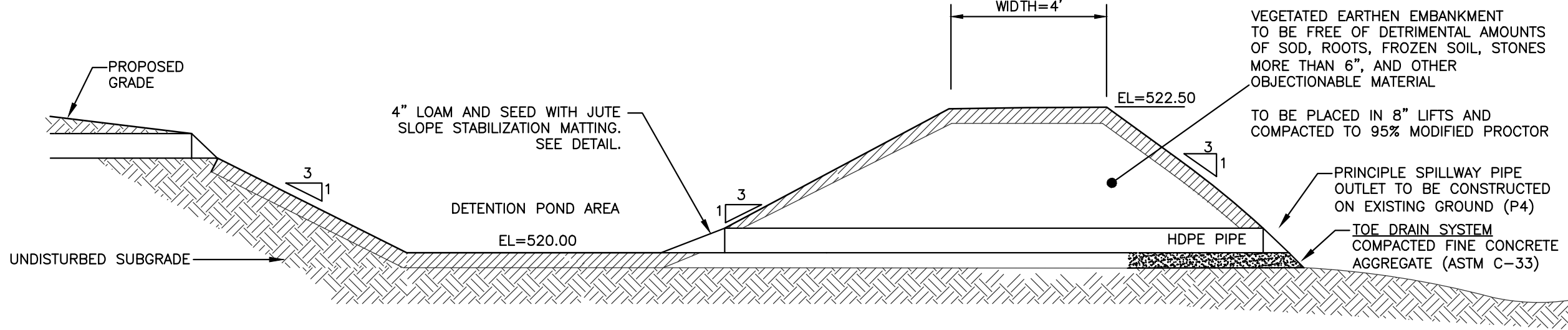
8. DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION BASIN.

9. AFTER THE BASIN IS EXCAVATED TO FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.

10. VEGETATION SHOULD BE ESTABLISHED IMMEDIATELY.

11. DO NOT PLACE SYSTEMS INTO SERVICE UNTIL CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

12. POND SHALL BE CONTAINED WITH AN IMPERMEABLE LINER, WHICH SHALL BE 6" OF CLAY COMPACTED TO ENSURE STABILITY.



POND SECTION & PROFILE DETAIL
NOT TO SCALE

CONSTRUCTION CRITERIA:

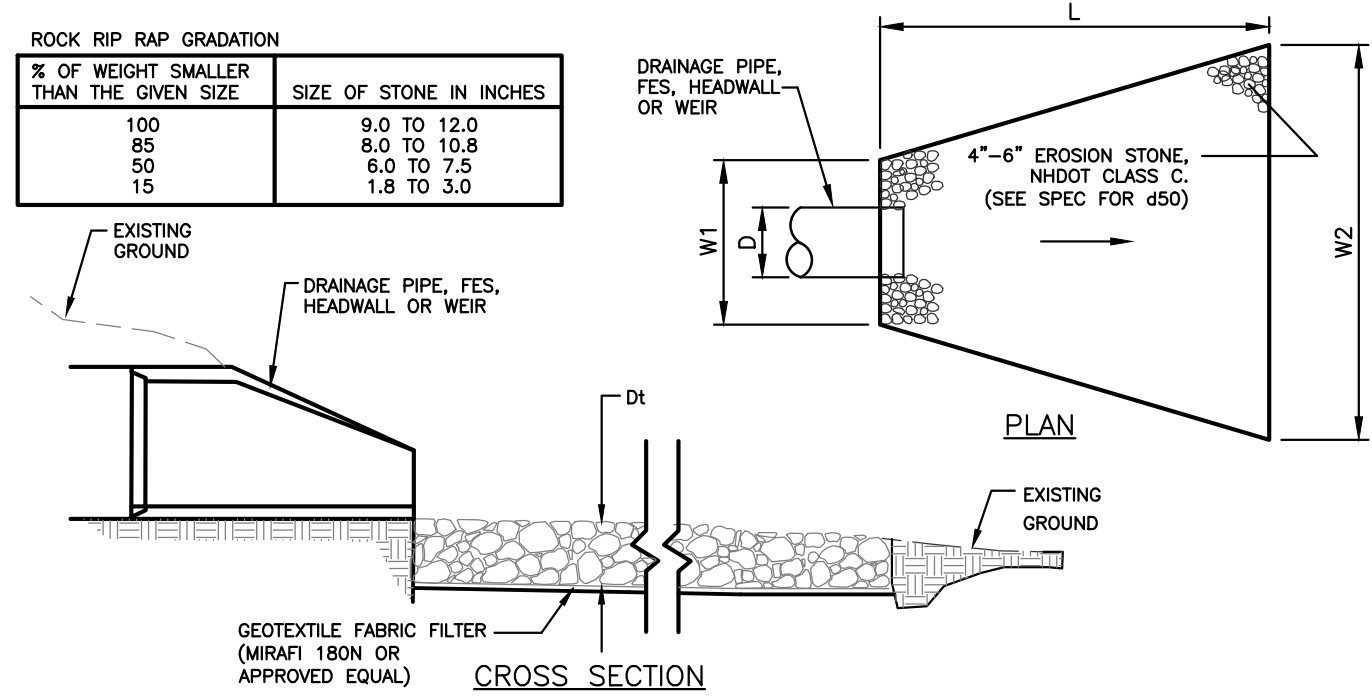
- DO NOT DISCHARGE SEDIMENT—LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO INFILTRATION BASINS.
- DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION BASIN.
- AFTER THE BASIN IS EXCAVATED TO FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.
- VEGETATION SHOULD BE ESTABLISHED IMMEDIATELY.
- DO NOT PLACE INFILTRATION SYSTEMS INTO SERVICE UNTIL CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

MAINTENANCE:

MAINTENANCE IS NECESSARY IF DETENTION/RETENTION BASINS ARE TO CONTINUE TO FUNCTION AS ORIGINALLY DESIGNED. A LOCAL GOVERNMENT, A DESIGNATED GROUP SUCH AS A HOMEOWNERS' ASSOCIATION OR SOME INDIVIDUAL MUST BE ASSIGNED RESPONSIBILITY FOR MAINTAINING THE STRUCTURES AND THE BASIN AREA. A MAINTENANCE PLAN SHOULD BE DEVELOPED THAT OUTLINES THE MAINTENANCE OPERATIONS AND A SCHEDULE FOR CARRYING OUT THE PROCEDURES.

THE FOLLOWING ARE SOME ITEMS WHICH SHOULD BE CONSIDERED IN FORMULATING A MAINTENANCE PLAN.

- EMBANKMENT — THE EMBANKMENT SHOULD BE INSPECTED ANNUALLY TO DETERMINE IF RODENT BURROWS, WET AREAS, OR EROSION OF THE FILL IS TAKING PLACE.
- VEGETATION — THE VEGETATED AREAS OF THE STRUCTURE SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH. LIME AND FERTILIZER SHOULD BE APPLIED AS NECESSARY AS DETERMINED BY SOIL TESTS. TREES AND SHRUBS SHOULD BE KEPT OFF THE EMBANKMENT AND EMERGENCY SPILLWAY AREAS.
- INLETS — PIPE INLETS AND SPILLWAY STRUCTURES SHOULD BE INSPECTED ANNUALLY AND AFTER EVERY MAJOR STORM. ACCUMULATED DEBRIS AND SEDIMENT SHOULD BE REMOVED. IF PIPES ARE COATED, THE COATING SHOULD BE CHECKED AND REPAIRED AS NECESSARY.
- OUTLETS — PIPE OUTLETS SHOULD BE INSPECTED ANNUALLY AND AFTER EVERY MAJOR STORM. THE CONDITION OF THE PIPES SHOULD BE NOTED AND REPAIRS MADE AS NECESSARY. IF EROSION IS TAKING PLACE THEN MEASURES SHOULD BE TAKEN TO STABILIZE AND PROTECT THE AFFECTED AREA OF THE OUTLET.
- SEDIMENT — SEDIMENT SHOULD BE CONTINUALLY CHECKED IN THE BASIN. WHEN SEDIMENT ACCUMULATIONS REACH THE PREDETERMINED DESIGN ELEVATION, THEN THE SEDIMENT SHOULD BE REMOVED AND PROPERLY DISPOSED OF.
- SAFETY INSPECTIONS — ALL PERMANENT IMPOUNDMENTS SHOULD BE INSPECTED BY A QUALIFIED PROFESSIONAL ENGINEER ON A PERIODIC BASIS. IF THERE IS A POTENTIAL FOR SIGNIFICANT DAMAGE OR LOSS OF LIFE DOWNSTREAM, THEN THE INSPECTION SHOULD BE CARRIED OUT ANNUALLY. THE DESIGNATED INDIVIDUAL OR GROUP SHOULD ALSO MAKE INSPECTIONS AFTER EVERY MAJOR STORM EVENT.



CONSTRUCTION NOTES:

- THE SUBGRADE, GEOTEXTILE FABRIC, AND RIPRAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
- THE ROCK OR GRAVEL USED FOR RIPRAP SHALL CONFORM TO THE SPECIFIED GRADATION.
- GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIPRAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
- STONE FOR THE RIPRAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
- THE MEDIAN STONE DIAMETER FOR THE RIPRAP APRON IS d50. FIFTY PERCENT BY WEIGHT OF THE RIPRAP MIXTURE SHALL BE SMALLER THAN THE MEDIAN STONE SIZE. THE LARGEST STONE SIZE IN THE MIXTURE SHALL BE 1.5 TIMES THE d50.

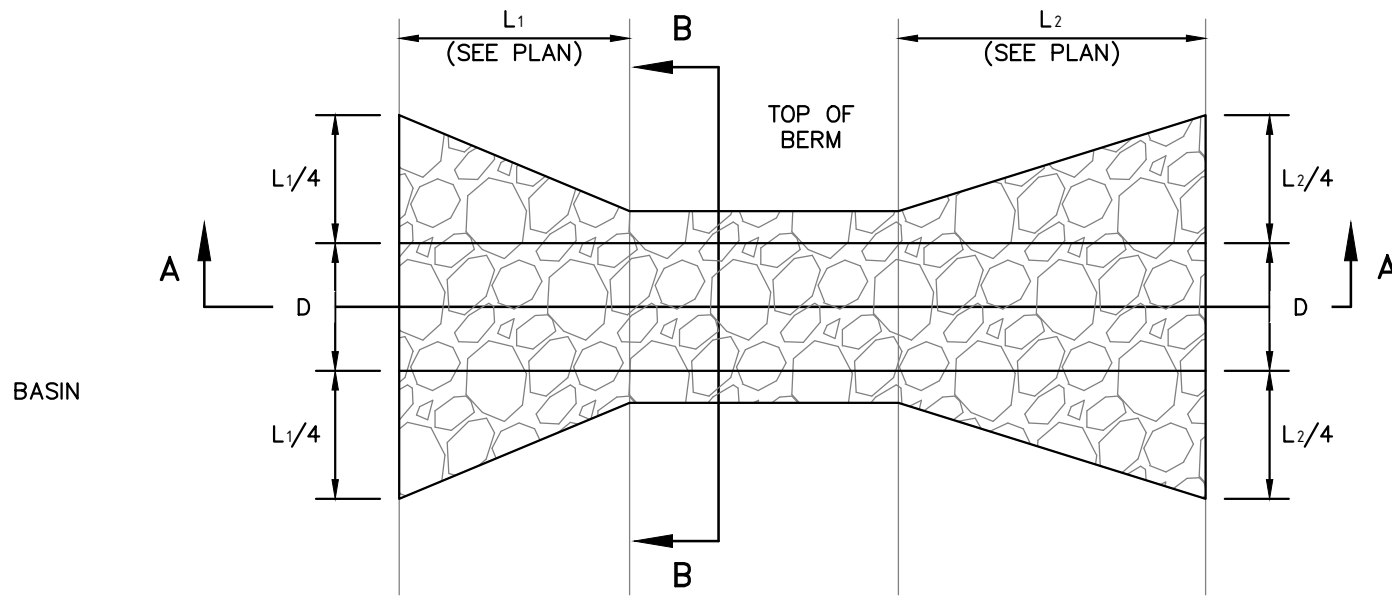
MAINTENANCE

- THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM WITHIN THE GROWING STABILIZATION PERIOD. IF THE RIPRAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO THE OUTLET PROTECTION APRON.

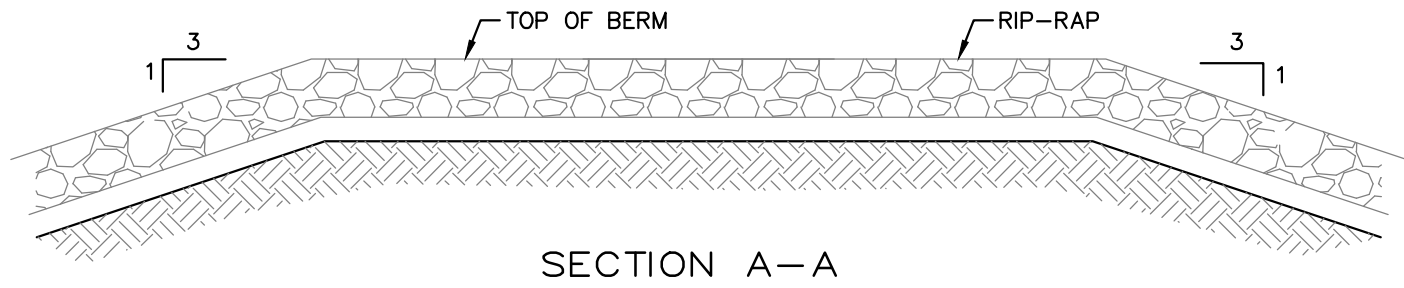
STONE-LINED OUTLET PROTECTION

NOT TO SCALE

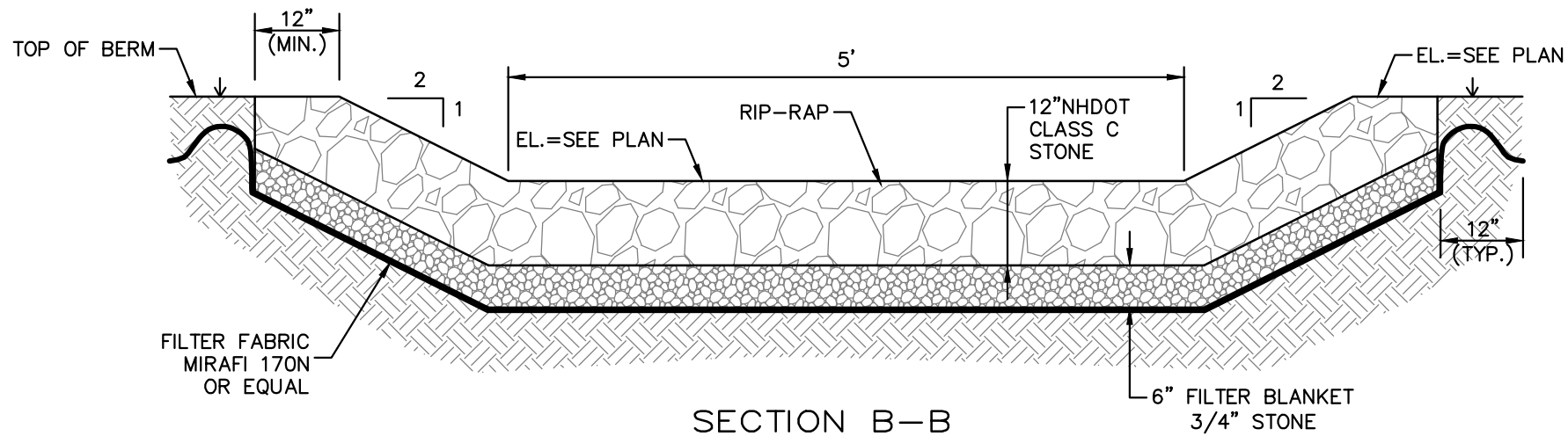
LOCATION	L	W1	W2	d50	Dt
FES-1	12'	2'	6'	6"	15"
FES-3	16'	4'	10'	6"	15"



PLAN VIEW

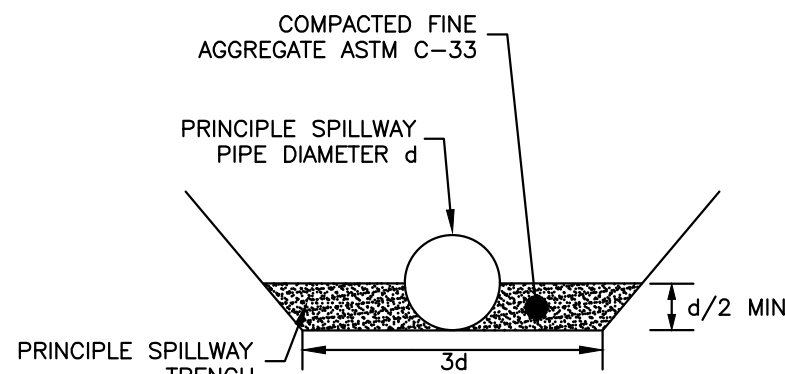


SECTION A-A

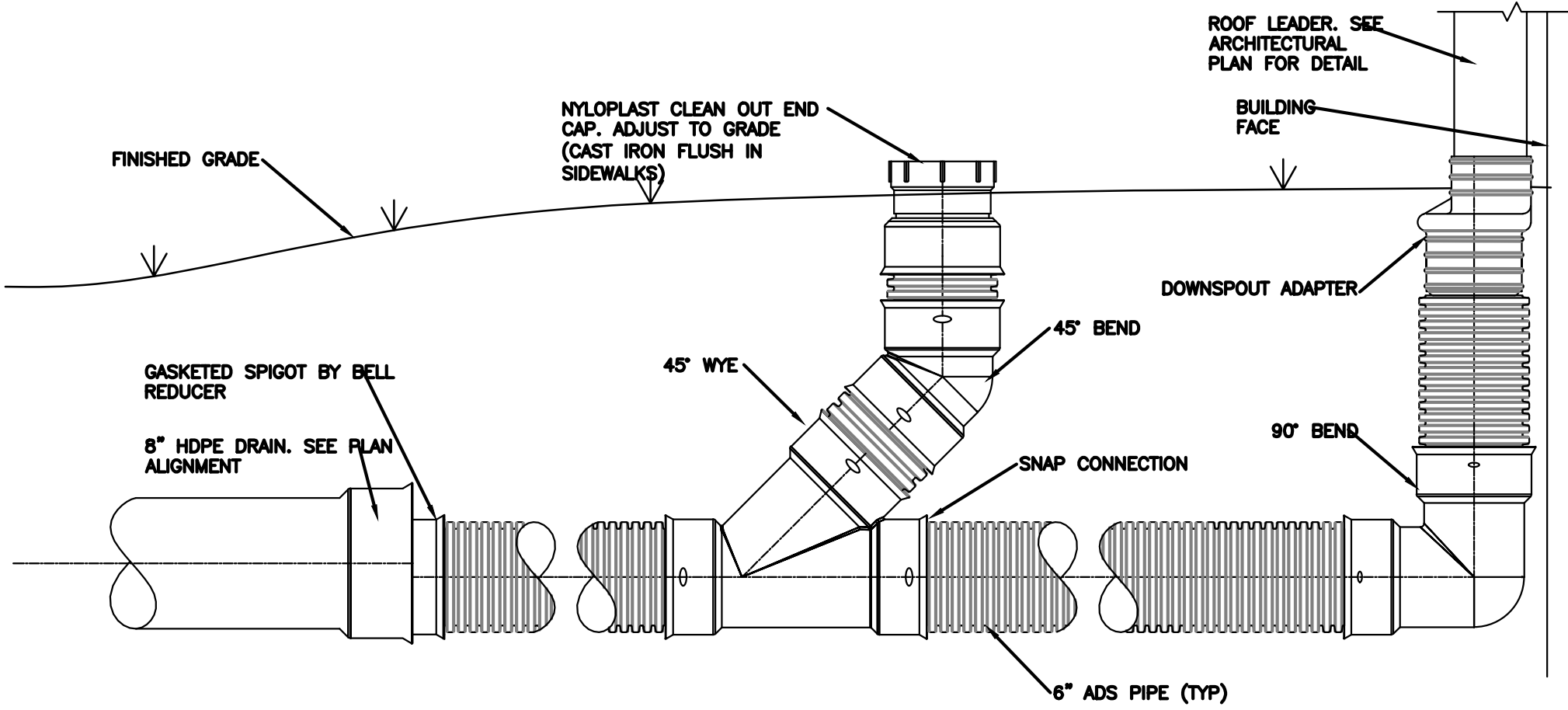


SECTION B-B

OVERFLOW SPILLWAY
NOT TO SCALE



TOE DRAIN DETAIL
NOT TO SCALE



ADS ROOF DRAIN DETAIL
NOT TO SCALE



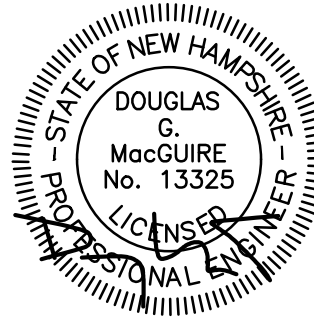
The Dubai Group, Inc.
136 Harvey Road, Bldg B101
Londonderry, NH 03053
603-458-6462

Engineers

Planners

Surveyors

TheDubayGroup.com



REVISIONS:			
REV	DATE	COMMENT	BY

DRAWN BY: SJK
CHECKED BY: DGM
DATE: OCT 11, 2023
SCALE: 541-DETAILS
FILE: BOOK 3804
DEED REF: PAGE 2385

PROJECT:
HENNIKER FAMILY DENTISTRY
(MAP 5B LOT 187-A)
MAPLE STREET
HENNIKER, NH

FOR
OSOFSON INVESTMENTS, LLC
154 ELM STREET
MILFORD, NH 03055

OWNER
DIAS FAMILY REVOCABLE TRUST OF 2009 SCOTT R DIAS & CATHERINE A DIAS TRUSTEES
245 FLANDERS ROAD
HENNIKER, NH 03242

SHEET TITLE:

SITE DETAILS - D

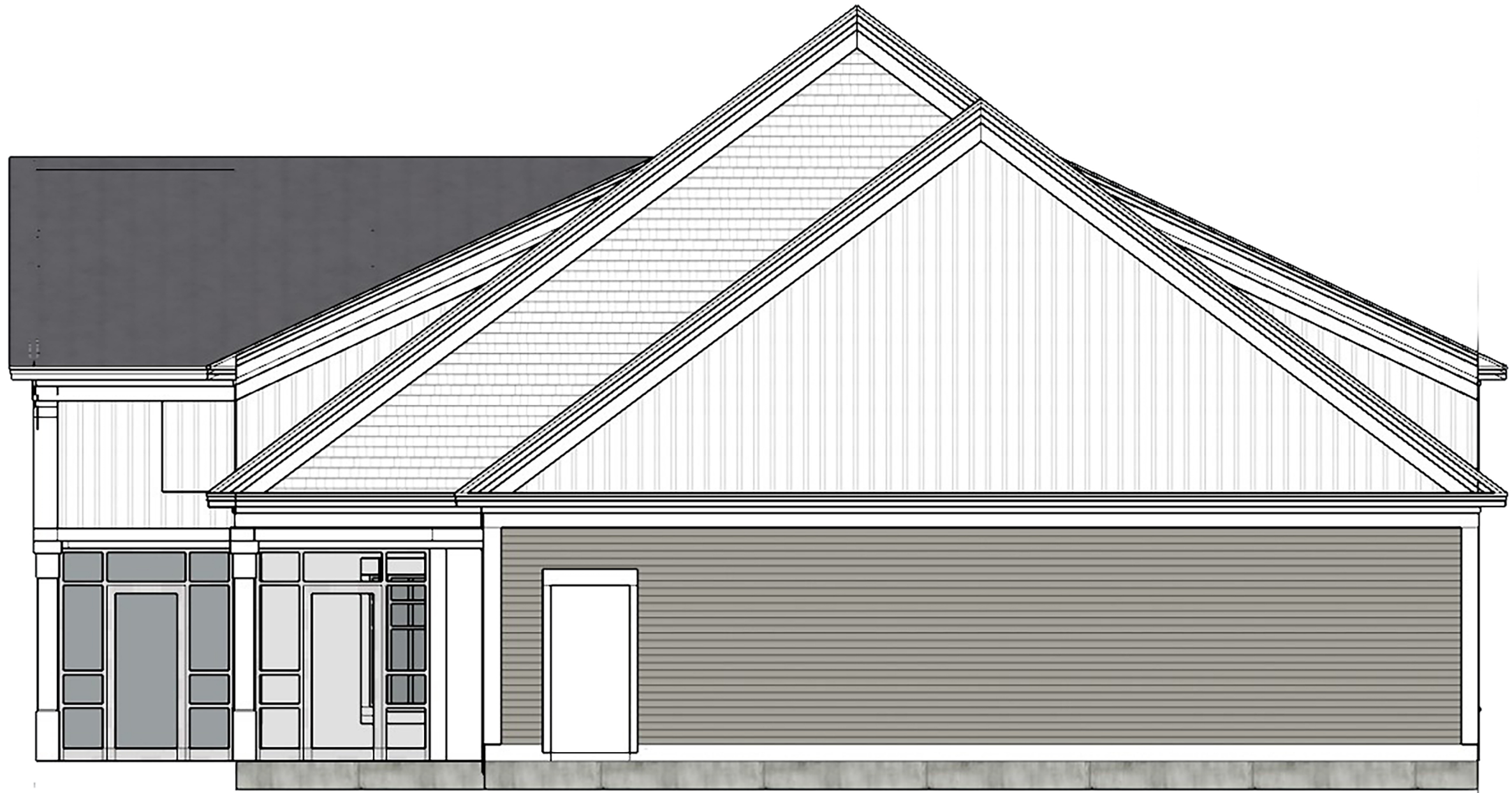
PROJECT #541 SHEET 12 of 12



Family Dental Henniker - Conceptual Front Elevation



Family Dental Henniker - Conceptual Right Side Elevation (Parking)



Family Dental Henniker - Conceptual Rear Elevation



Family Dental Henniker - Conceptual Left Side Elevation