

FIELDSTONE

LAND CONSULTANTS, PLLC

Surveying ♦ Engineering
Land Planning ♦ Septic Designs

206 Elm Street, Milford, NH 03055 - Phone: 603-672-5456 - Fax: 603-413-5456
www.FieldstoneLandConsultants.com

Mark Fougere
Town of Henniker Planning Board
18 Depot Hill Road
Henniker, NH 03242

November 9, 2021

RE: Site Plan Review Comments
MAC Milford Realty – Self-Storage Facility

Mr. Fougere:

On behalf of our client, MAC Milford Realty, LLC, we are hereby submitting revised plans based on the review comments emailed on 11/8/21. The comments and our responses are listed below:

Road Agent Comments:

1. *Sight Distance is minimal:* The driveway was located at the high point of the road and midpoint of the curve in the road. The existing sight distance is not ideal; however, with the proposed improvements it will provide adequate safe sight distance for the low volume of traffic from the proposed self-storage facility. The site improvements that will increase the sight distance include the removal of the existing trees/brush, razing of the buildings, and grading along frontage of the lot.
2. *Make sure water does not flow into the street, must flow away from street:* The grading as shown on sheet GR-1 has spot grades at the proposed driveway. The proposed grading will direct water to a low point in the driveway entrance, and then flow into the drainage swale into the detention basin. Water will not flow off the site into the roadway.

Planning Comments:

1. *Site distance looking left for the site is lacking. Driveway permit will be needed, 15 inch min. culvert required.:* As mentioned above, the driveway was located at the crest of the hill and midpoint of the roadway radius, to maximize sight distance. A driveway permit has been listed on the SP-1 sheet, and a culvert added. Sight distance lines have been added and a safe sight distance of 250 feet can be obtained (as recommended by AASHTO standards for 35 mph roads).
2. *Location of existing stone wall along front lot line, east side, is not noted:* The stone wall along the road frontage has been added to the site plans.
3. *Note location of all test pits on plan.:* The locations of the test pits have been added to the plans, sheet GR-1.
4. *16 foot cut proposed; will there be ledge? Blasting?;* Based on the existing ledge exposed near the residential homes, it is likely that ledge will be encountered and blasting and/or hammering will be required. The plans have blasting notes included, and all required permits will be obtained. Ledge and/or boulders varied in test pits.
5. *Landscape evergreens proposed out back not needed. Add landscaping features along frontage & detention pond.:* The landscaping has been revised to provide plantings near the detention basin and omit the rear evergreens.
6. *Note mobile homes and structures within 100 feet of the property line.:* The locations of the mobile homes have been added to the plan.

If you have any questions on this project and the items submitted, please do not hesitate to contact me at jenoonan@fieldstonelandconsultants.com or (603) 672-5456.

Best Regards,

John Noonan

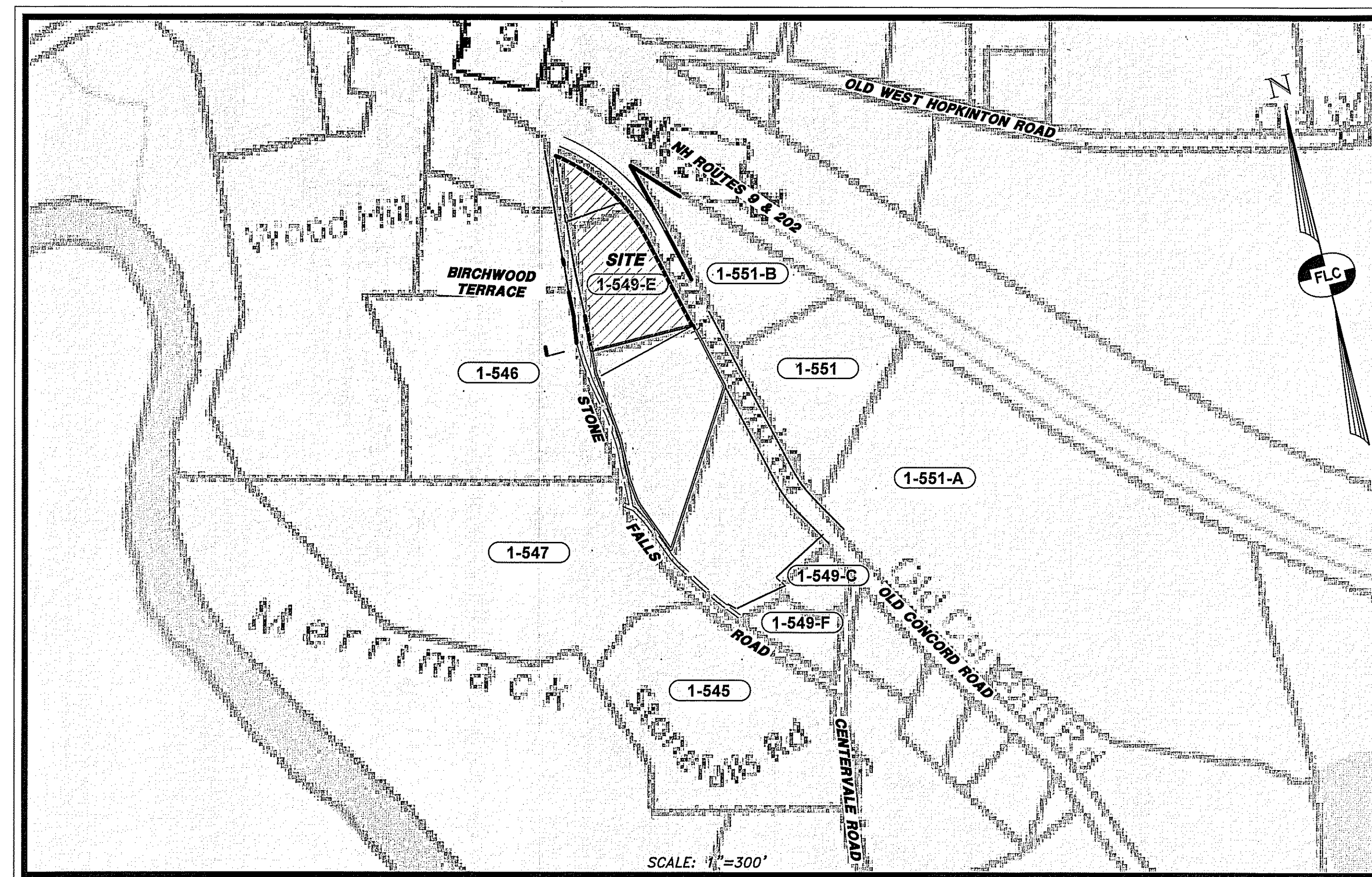
Fieldstone Land Consultants

SITE PLAN SET

SELF STORAGE FACILITY

TAX MAP PARCEL 1-549-B AND 1-549-E - OLD CONCORD ROAD
HENNIKER, NEW HAMPSHIRE

OCTOBER 13, 2021

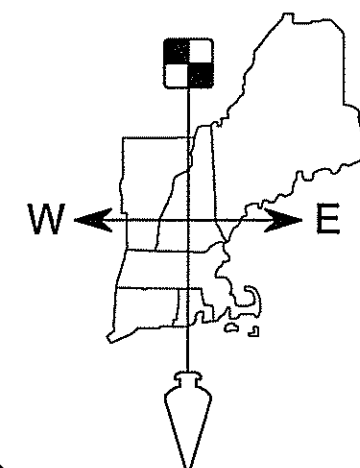


SHEET INDEX

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4	GR-1	GRADING & UTILITY PLAN
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6	LS-1	LANDSCAPING PLAN
7	DT-1	CONSTRUCTION DETAILS
8	DT-2	CONSTRUCTION DETAILS
9	DT-3	CONSTRUCTION DETAILS

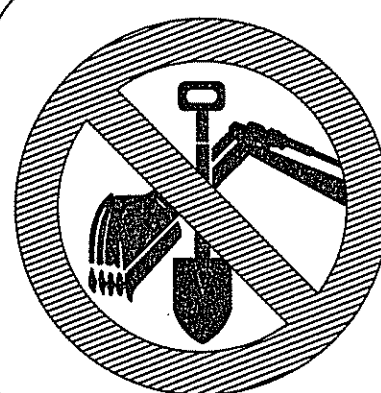
PREPARED FOR & LAND OF:
MAC MILFORD REALTY, LLC
 5 CIARDELLI CROSSING
 MILFORD, NH 03055

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1. THE LOCATION OF THE UTILITIES SHOWN ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE AND PRESERVE ALL UTILITY SERVICES.
2. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING AND COORDINATING WITH ALL JURISDICTIONAL AGENCIES AND UTILITY COMPANIES PRIOR TO AND DURING CONSTRUCTION.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND PROPOSED WORK PRIOR TO CONSTRUCTION.

CONTACT DIG SAFE 72 HOURS
PRIOR TO CONSTRUCTION
DIGSAFE.COM
OR DIAL 811
CALL BEFORE YOU DIG

A	11/9/21	REVISED PER TOWN COMMENTS						JEN	CEB	
REV.	DATE	DESCRIPTION						C/O	DR	CK
FILE: 2392CV01.dwg		PROJ. NO.	2392.01	SHEET:	CV-1	PAGE NO. 1 OF 9				

LEGEND:

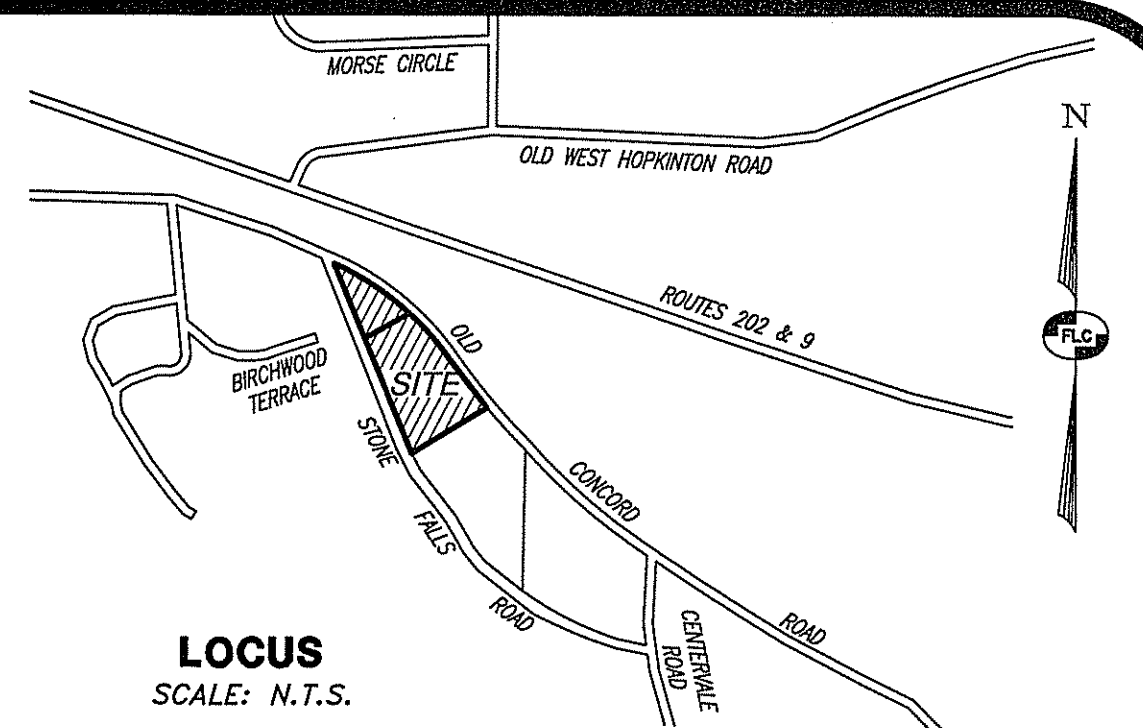
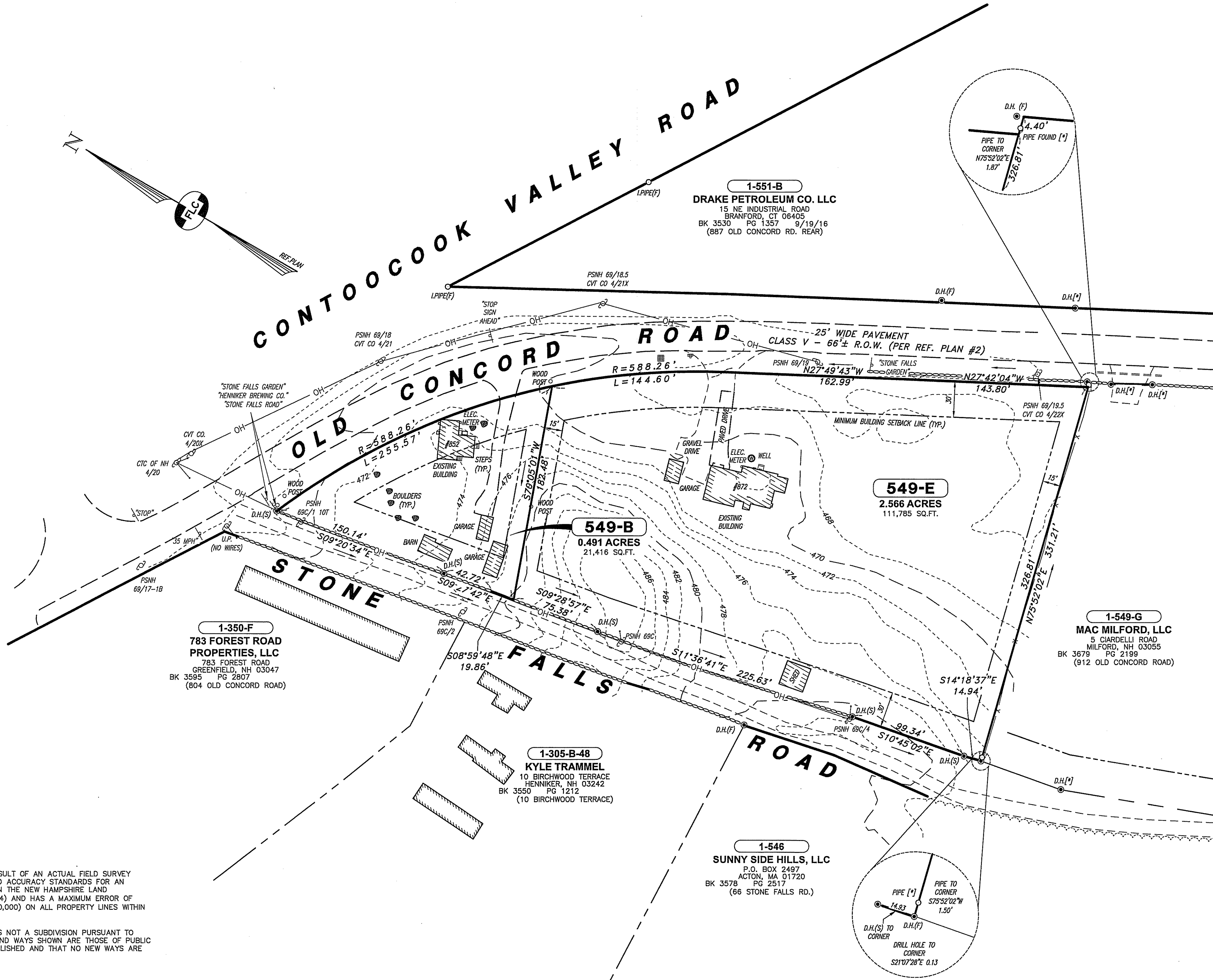
- RIGHT-OF-WAY LINE
- BOUNDARY LINE
- - - ABUTTING LOT LINE
- - - BUILDING SETBACK LINE
- - - EDGE OF PAVED ROAD
- - - EDGE OF GRAVEL ROAD
- - - STONE WALL
- - - EDGE OF TREE LINE
- - - 10' CONTOUR INTERVAL
- - - 2' CONTOUR INTERVAL
- - - WIRE FENCE
- - - CULVERT
- - - OVERHEAD UTILITY LINE
- - - UNDERGROUND UTILITY LINE
- 594-E TAX MAP & LOT NUMBER

- G.B.(f) GRANITE BOUND FOUND
- D.H.(f) DRILL HOLE FOUND
- L.P.M.(f) IRON PIN FOUND
- L.P.P.E.(f) IRON PIPE FOUND
- ⊙ UTILITY POLE, GUY & LIGHT
- CATCH BASIN (SQUARE)
- ⊙ WELL
- ☆ LIGHT POST
- SINGLE SIGN POST
- ▭ EXISTING BUILDING

CERTIFICATION:

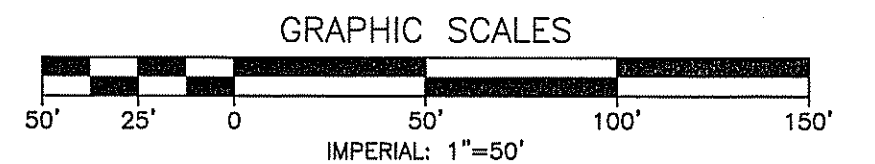
"I HEREBY CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND PER THE PRECISION AND ACCURACY STANDARDS FOR AN URBAN CLASSIFICATION SURVEY AS SPECIFIED IN THE NEW HAMPSHIRE LAND SURVEYOR'S ADMINISTRATIVE RULES (LAN 503.04) AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN TEN THOUSAND (1:10,000) ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY."

"I FURTHER CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN (RSA 676:18,III)."



NOTES:

- THE OWNER OF RECORD FOR TAX MAP 1 LOT 549-B IS MAC MILFORD REALTY, LLC, 5 CIARDELLI CROSSING, MILFORD, NH 03055. THE DEED REFERENCE TO THE PARCEL IS BK. 3753 PG. 2703, DATED AUGUST 16, 2021 IN THE M.C.R.D.
- THE OWNER OF RECORD FOR TAX MAP 1 LOT 549-E IS MAC MILFORD REALTY, LLC, 5 CIARDELLI CROSSING, MILFORD, NH 03055. THE DEED REFERENCE TO THE PARCEL IS BK. 3753 PG. 2705, DATED AUGUST 16, 2021 IN THE M.C.R.D.
- THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING CONDITIONS & BOUNDARY INFORMATION FOR TAX MAP 1 PARCELS 549-B & 549-E AS SHOWN.
- THE TOTAL AREA OF TAX MAP PARCEL 1-549-B IS 0.491 ACRES. THE TOTAL AREA OF TAX MAP PARCEL 1-549-E IS 2.566 ACRES.
- LOT NUMBERS REFER TO THE TOWN OF HENNIKER ASSESSORS MAP 1.
- ZONING FOR THE PARCEL IS HEAVY COMMERCIAL (CH) ZONE.
- CH ZONE REQUIRED: MIN. LOT AREA 2 AC, MIN. LOT FRONTAGE 125 FT, MIN. FRONT SETBACK 30 FT, MIN. SIDE SETBACK 15 FT, MIN. REAR SETBACK 15 FT.
- THE HORIZONTAL ORIENTATION IS BASED ON REFERENCE PLAN #1. THE VERTICAL DATUM AND EXISTING TOPOGRAPHY SHOWN ARE BASED ON LIDAR (LIGHT DETECTION AND RANGING).
- THE PARCEL IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE AS DETERMINED FROM THE FLOOD INSURANCE STUDY FIRM MAP NUMBER: 3301300491E, DATED: APRIL 19, 2010.
- SOIL TYPE FOR THE ENTIRE SITE IS 480B MILLSITE-WOODSTOCK-HENNIKER COMPLEX.
- THE SITE LIES OUTSIDE THE STRATIFIED DRIFT AQUIFER PER THE "TOWN OF HENNIKER, NEW HAMPSHIRE - AQUIFER AND DRINKING WATER MAP"
- THE LOCATION OF ANY UTILITIES SHOWN HAVE BEEN COMPILED IN PART FROM PLANS OF RECORD AND FIELD LOCATION. THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE CONSIDERED APPROXIMATE AND SHOULD BE FIELD VERIFIED PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITIES.



A	11/9/21	PER TOWN COMMENTS	JEN	CEB
REV.	DATE	DESCRIPTION	C/O	DR

EXISTING CONDITIONS PLAN
TAX MAP 1 LOT 549-B & 549-E
(852 AND 872 OLD CONCORD ROAD)
HENNIKER, NEW HAMPSHIRE

PREPARED FOR:
MAC MILFORD REALTY, LLC
5 CIARDELLI CROSSING, MILFORD, NH 03055
LAND OF:
MAC MILFORD REALTY, LLC
5 CIARDELLI CROSSING, MILFORD, NH 03055

SCALE: 1" = 50' OCTOBER 13, 2021

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REFERENCE PLANS:

- "PROPOSED SUBDIVISION PREPARED FOR: J AND M MORSE TRUCKING LLC - 856 OLD CONCORD ROAD - TAX MAP 1 LOT 549 - HENNIKER, NEW HAMPSHIRE" - SCALE: 1"=50' - DATED JULY 23, 2019, PREPARED BY HIGGINSON LAND SERVICES AND RECORDED IN THE M.C.R.D. AS PLAN #201900023420.
- "LOT LINE ADJUSTMENT PLAN - MAP 1 LOT 551 & 551-B - 929 OLD CONCORD ROAD - HENNIKER, NEW HAMPSHIRE - SCALE: 1"=50' - DATED JUNE 9, 2015, PREPARED BY THE DUBAY GROUP, INC. AN RECORDED IN THE M.C.R.D. AS PLAN #201600016826.
- "STATE OF NEW HAMPSHIRE - DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS - PLANS OF PROPOSED HOPKINTON-EVERETT RESERVOIR - TOWNS OF HENNIKER & HOPKINTON - COUNTY OF MERRIMACK" - SCALE: 1"=100' - PLAN "P-4194", PAGE 10.

EXISTING FEATURES

	RIGHT-OF-WAY LINE
	BOUNDARY LINE
	ABUTTING LOT LINE
	BUILDING SETBACK LINE
	EDGE OF PAVED ROAD
	EDGE OF GRAVEL ROAD
	STONE WALL
	EDGE OF TREE LINE
	10' CONTOUR INTERVAL
	2' CONTOUR INTERVAL
	WIRE FENCE
	CULVERT
	OVERHEAD UTILITY LINE
	UNDERGROUND UTILITY LINE

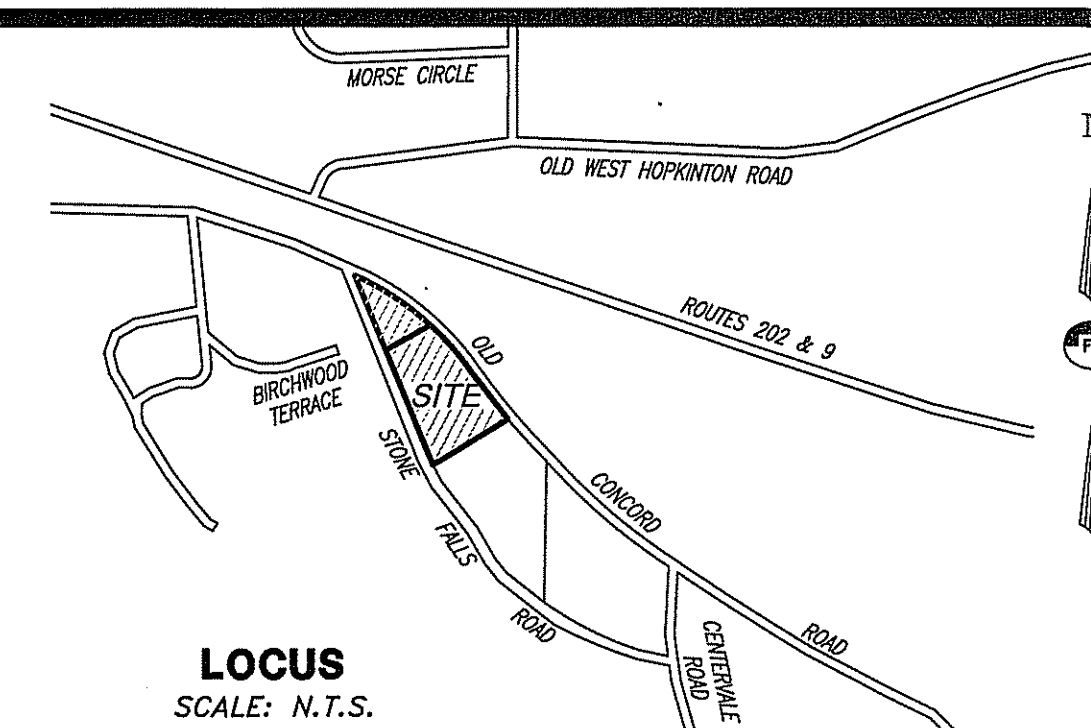
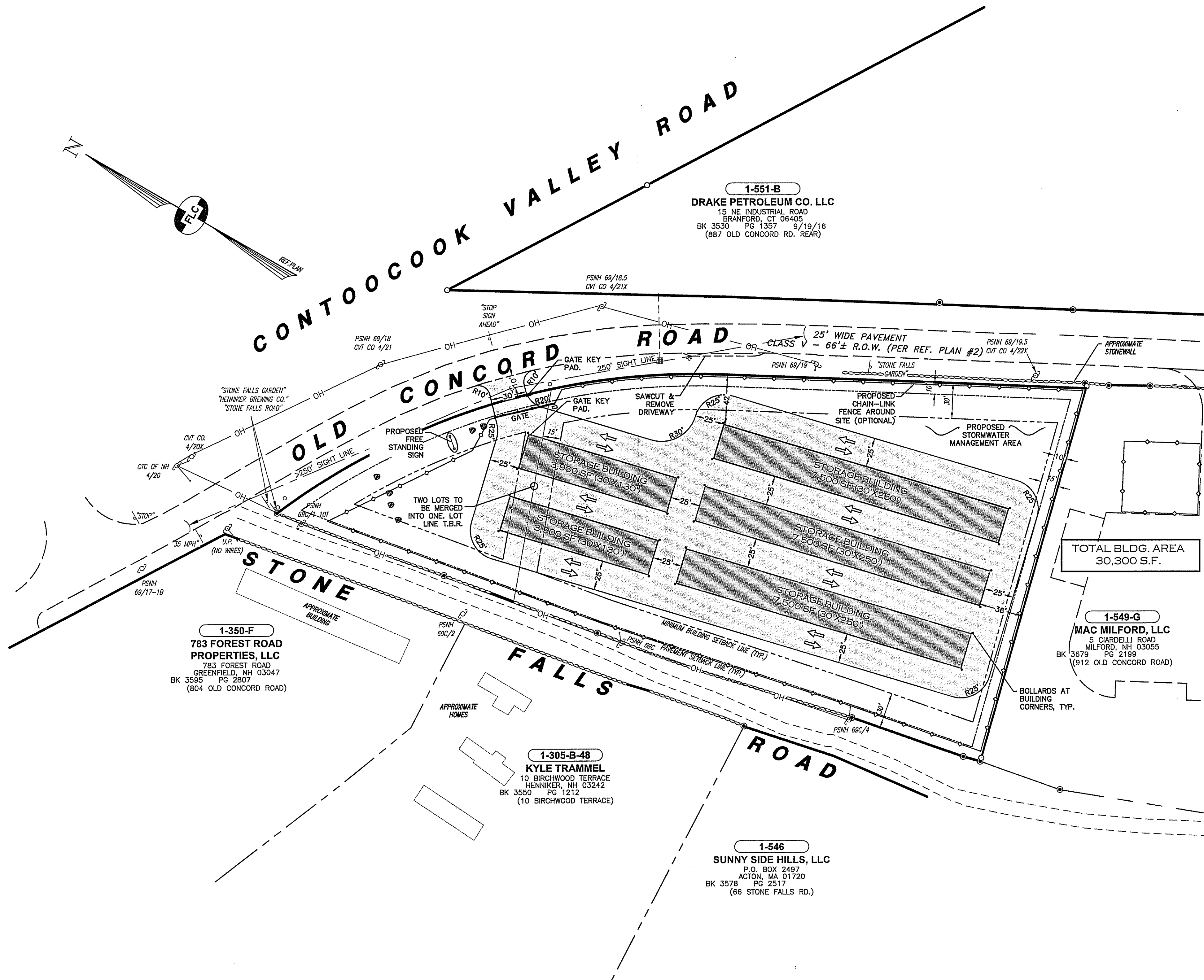
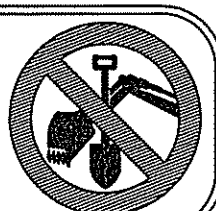
594-E TAX MAP & LOT NUMBER

- | | |
|--|---------------------------|
| | GRANITE BOUND FOUND |
| | DRILL HOLE FOUND |
| | IRON PIN FOUND |
| | IRON PIPE FOUND |
| | UTILITY POLE, GUY & LIGHT |
| | CATCH BASIN (SQUARE) |
| | WELL |
| | LIGHT POST |
| | SINGLE SIGN POST |

PROPOSED FEATURES

- | | |
|--|--------------------------------------|
| | 2 FT. CONTOUR |
| | 10 FT. CONTOUR |
| | EDGE OF PAVEMENT |
| | CAPE COD BERM |
| | CHAIN LINK FENCE |
| | UNDERGROUND UTILITIES |
| | LIMITS OF CLEARING |
| | SURFACE WATER FLOW |
| | SPOT ELEVATION |
| | SPOT ELEVATION AT CURB |
| | STONE CHECK DAM |
| | SWALE |
| | TEMPORARY SILT FENCE |
| | STORM WATER DRAINAGE |
| | EFFLUENT LINE |
| | WATER LINE |
| | SIDEWALK |
| | EROSION CONTROL STONE |
| | PAVED AREA |
| | TO BE REMOVED |
| | SOIL BERM |
| | BOLLARD |
| | DIRECTION OF TRAVEL
(NOT PAINTED) |

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NOTES:

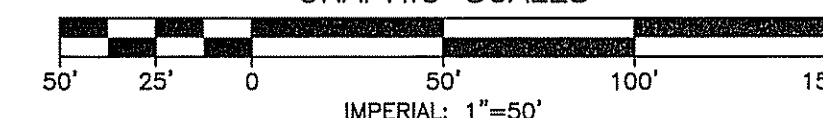
1. THE OWNERS OF RECORD FOR TAX MAP 1 LOT 549-B AND 549-E IS MAC MILFORD REALTY, LLC OF 5 CIARDELLI CROSSING, MILFORD, NH 03055.
2. THE PURPOSE OF THIS PLAN IS TO DEPICT THE PROPOSED SELF-STORAGE DEVELOPMENT ON TAX MAP 1 PARCELS 549-B & 549-E AS SHOWN. THE TWO PARCELS WILL BE MERGED CONTINGENT ON SITE PLAN APPROVAL.
3. THE TOTAL AREA OF TAX MAP PARCEL 1-549-B IS 0.491 ACRES. THE TOTAL AREA OF TAX MAP PARCEL 1-549-E IS 2.566± ACRES. AFTER MERGER = 3.057± ACRES.
4. LOT NUMBERS REFER TO THE TOWN OF HENNIKER ASSESSORS MAP 1.
5. ZONING FOR THE PARCEL IS HEAVY COMMERCIAL (CH) ZONE.

<u>CH_ZONE</u>	<u>REQUIRED</u>
MIN. LOT AREA	2 AC
MIN. LOT FRONTAGE	125 FT
MIN. FRONT SETBACK	30 FT
MIN. SIDE SETBACK	15 FT
MIN. REAR SETBACK	15 FT
DRIVE & PAVEMENT	10 FT
6. THE HORIZONTAL ORIENTATION IS BASED ON REFERENCE PLAN #1. THE VERTICAL DATUM AND EXISTING TOPOGRAPHY SHOWN ARE BASED ON LIDAR (FIELD DETECTION AND RANGING).
7. THE PARCEL IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE AS DETERMINED FROM THE FLOOD INSURANCE STUDY FIRM MAP NUMBER: 33013C0491E, DATED: APRIL 19, 2010.
8. SOIL TYPE FOR THE ENTIRE SITE IS 480B MILLSITE-WOODSTOCK-HENNIKER COMPLEX.
9. THE SITE LIES OUTSIDE THE STRATIFIED DRIFT AQUIFER PER THE "TOWN OF HENNIKER, NEW HAMPSHIRE -- AQUIFER AND DRINKING WATER MAP"
10. THE LOCATION OF ANY UTILITIES SHOWN HAVE BEEN COMPILED IN PART FROM PLANS OF RECORD AND FIELD LOCATION. THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE CONSIDERED APPROXIMATE AND SHOULD BE FIELD VERIFIED PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITIES.

PERMITS & APPROVALS REQUIRED:

1. HENNIKER PLANNING BOARD SITE PLAN APPROVAL.
2. HENNIKER DRIVEWAY PERMIT.
3. HENNIKER BUILDING PERMIT.

GRAPHIC SCALES



A	11/9/21	PER TOWN COMMENTS		JEN	CEB
REV.	DATE	DESCRIPTION	C/O	DR	CK

SITE PLAN

**TAX MAP 1 LOT 549-B & 549-E
(852 AND 872 OLD CONCORD ROAD)
HENNIKER, NEW HAMPSHIRE**

PREPARED FOR:

MAC MILFORD REALTY, LLC
5 CIARDELLI CROSSING, MILFORD, NH 03055

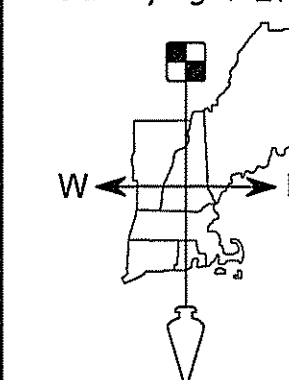
LAND OF,

MAC MILFORD REALTY, LLC
5 CIARDELLI CROSSING, MILFORD, NH 03055

SCALE: 1" = 50'

OCTOBER 13, 2021

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FILE: 2392SP01_A.dwg	PROJ. NO. 2392.01	SHEET: SP-1	PAGE NO. 3 OF 9
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REFERENCE PLANS:

1. "PROPOSED SUBDIVISION PREPARED FOR: J AND M MORSE TRUCKING LLC - 856 OLD CONCORD ROAD - TOWN OF HENNIKER, NEW HAMPSHIRE" - SCALE: 1"=50' DATED JULY 23, 2019, PREPARED BY HIGGINSON LAND SERVICES AND RECORDED IN THE M.C.R.D. AS PLAN #201900023420.
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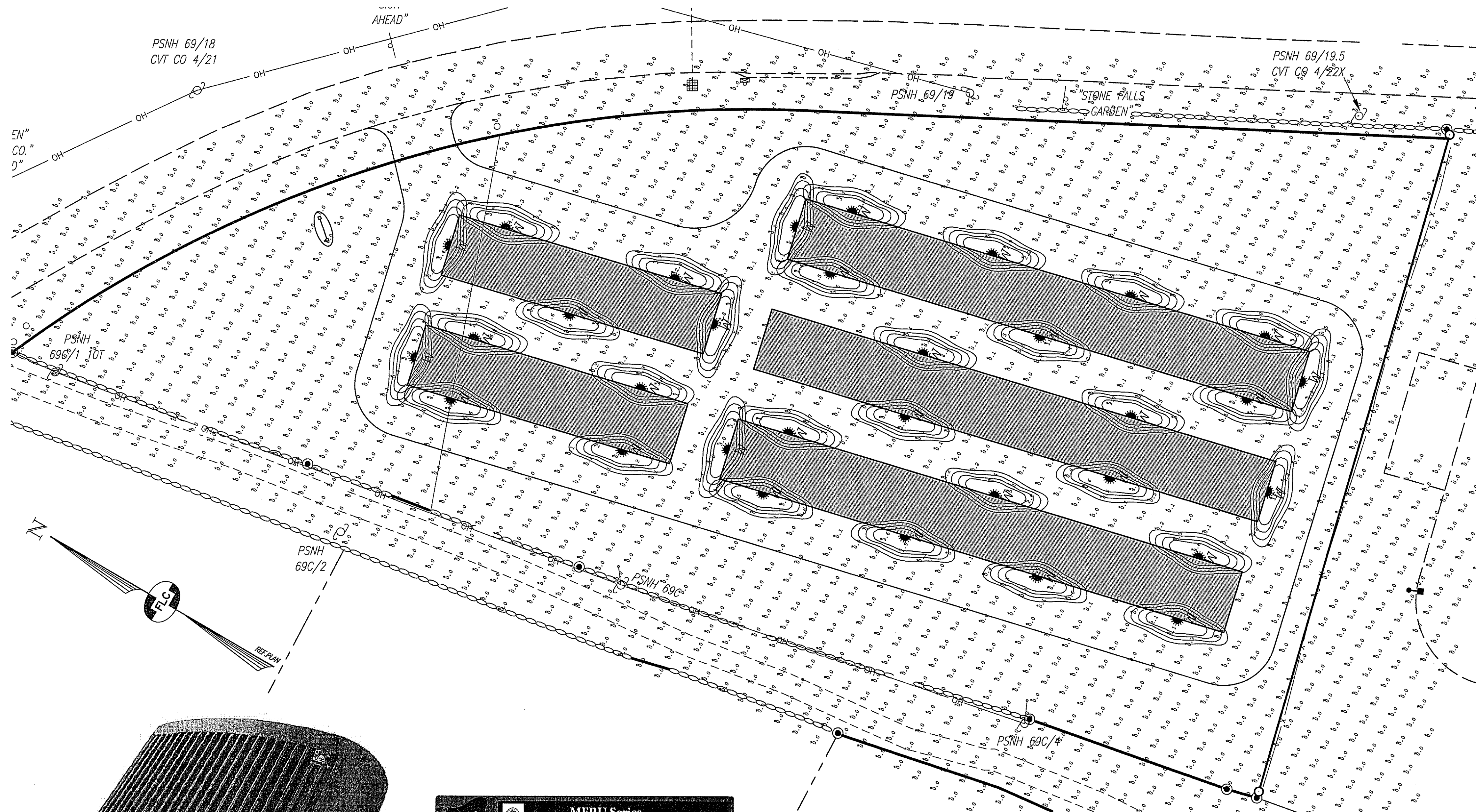
The diagram shows a line of sight from a point labeled 'N' (North) to a point labeled 'REF. PLAN'. A circular object labeled 'FLC' (Flooded Light Camera) is positioned on the line of sight. Below the diagram is a graphic scale with markings for 30', 15', 0, 30', 60'. The scale is labeled 'GRAPHIC SCALES' and 'IMPERIAL: 1"=30'.

GRADING & UTILITY PLAN
TAX MAP 1 LOT 549-B & 549-E
(852 AND 872 OLD CONCORD ROAD)
HENNIKER, NEW HAMPSHIRE

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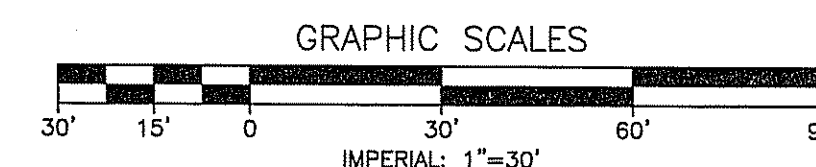
206 Elm Street, Milford, NH 03055
Phone: (603) 672-5456 Fax: (603) 413-5456
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- DESIGN NOTES:**
1. ALL LIGHTING SHALL BE ARRANGED TO DEFLECT LIGHT AWAY FROM ANY ADJOINING PROPERTIES OR PUBLIC STREETS.
 2. ALL LIGHTING SHALL BE FULL CUTOFF FIXTURES AT AN ANGLE OF 75° FROM HORIZONTAL.
 3. LIGHT SHALL NOT EXCEED 1.0 FC INTO THE PUBLIC STREET, AS MEASURED AT THE CENTERLINE OF THE STREET.
 4. LIGHT SHALL NOT EXCEED 0.1 FC INTO ADJUTING, RESIDENTIAL LOTS WHEN MEASURED AT THE PROPERTY LINE.
 5. THE PROPOSED WALL-PACK LIGHTS ARE ALL ON INDIVIDUAL MOTION SENSORS TO REDUCE LIGHTING TIMES AND CONSERVE ENERGY. BUILT IN PHOTOCELLS WILL ENSURE LIGHTS TURN OFF DURING DAYLIGHT HOURS.
 6. FIXTURES ARE TO BE MOUNTED 8 FEET HIGH ON SIDE OF BUILDINGS.

StatArea_1
Illuminance (Fc)
Average = 0.77
Maximum = 14.3
Minimum = 0.0
Avg/Min Ratio = N.A.
Max/Min Ratio = N.A.

Luminaire Schedule				
Symbol	Qty	Label	Arrangement	Description
	32	W	Single	MERU-LED-AC-DB-FIR / WALL MTD 8' AFG



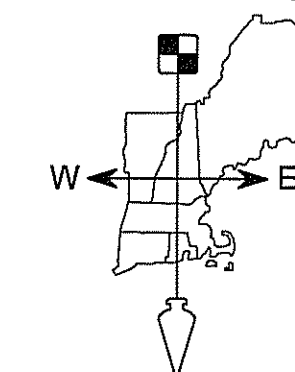
REV.	DATE	DESCRIPTION	C/O	DR	CK

LIGHTING PLAN
TAX MAP 1 LOT 549-B & 549-E
(852 AND 872 OLD CONCORD ROAD)
HENNIKER, NEW HAMPSHIRE

PREPARED FOR:
MAC MILFORD REALTY, LLC
5 CIARDELLI CROSSING, MILFORD, NH 03055
LAND OF:
MAC MILFORD REALTY, LLC
5 CIARDELLI CROSSING, MILFORD, NH 03055

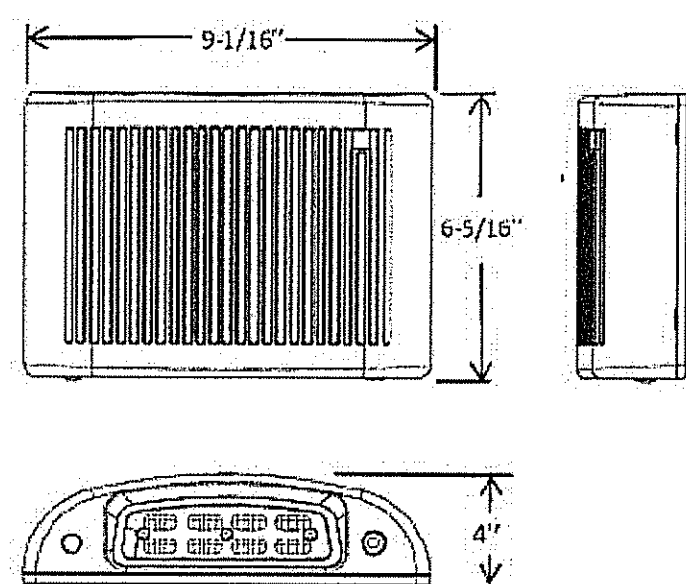
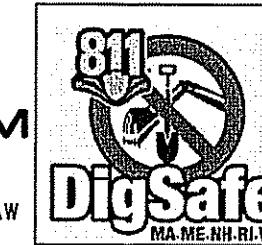
SCALE: 1" = 30' OCTOBER 13, 2021

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W-LED WALL-PACK LIGHT

MERU Series

LED GENERAL & EMERGENCY LIGHTING

PRODUCT DESCRIPTION

The MERU Series is an architectural, low-profile outdoor light, offering "normally On" AC and emergency lighting with powerful LED illumination. The housing is fully sealed and gasketed, and has an IP65 rating. Designed for wall mounting with universal K/O pattern in back-plate for easy installation to most standard size junction boxes. Includes a single 1/2" NPT conduit entry in the top, center of the housing. Illumination provided by 8 high power LEDs which achieve 1,600 lumens in AC and 600 lumens in emergency. LED color at 4000K.

PRODUCT SPECIFICATIONS

CONSTRUCTION

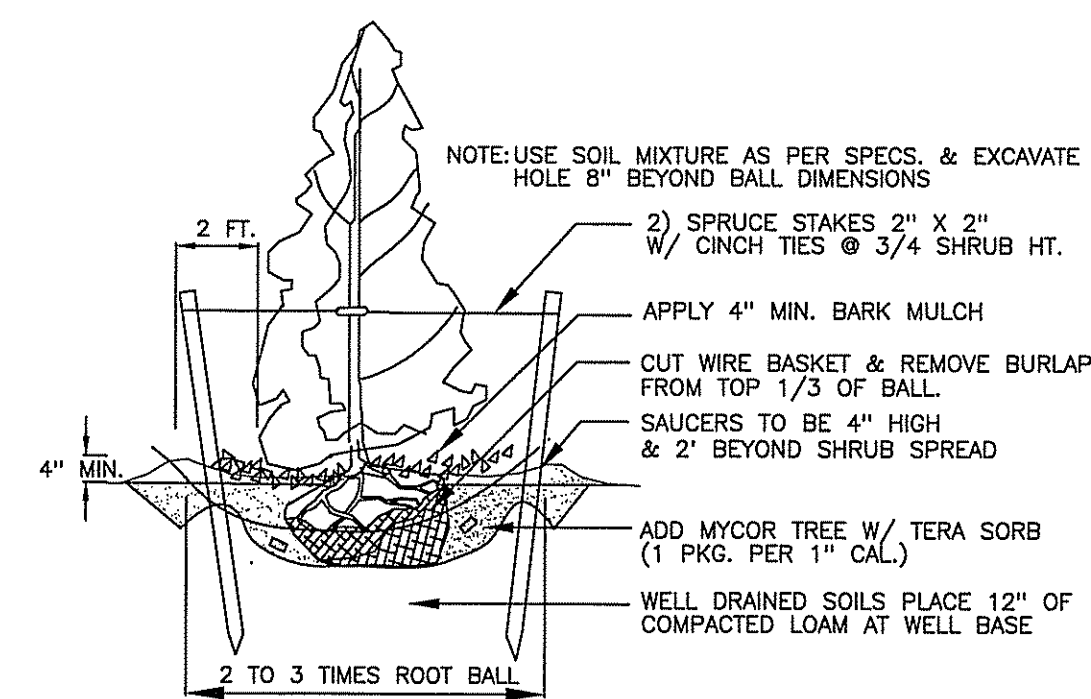
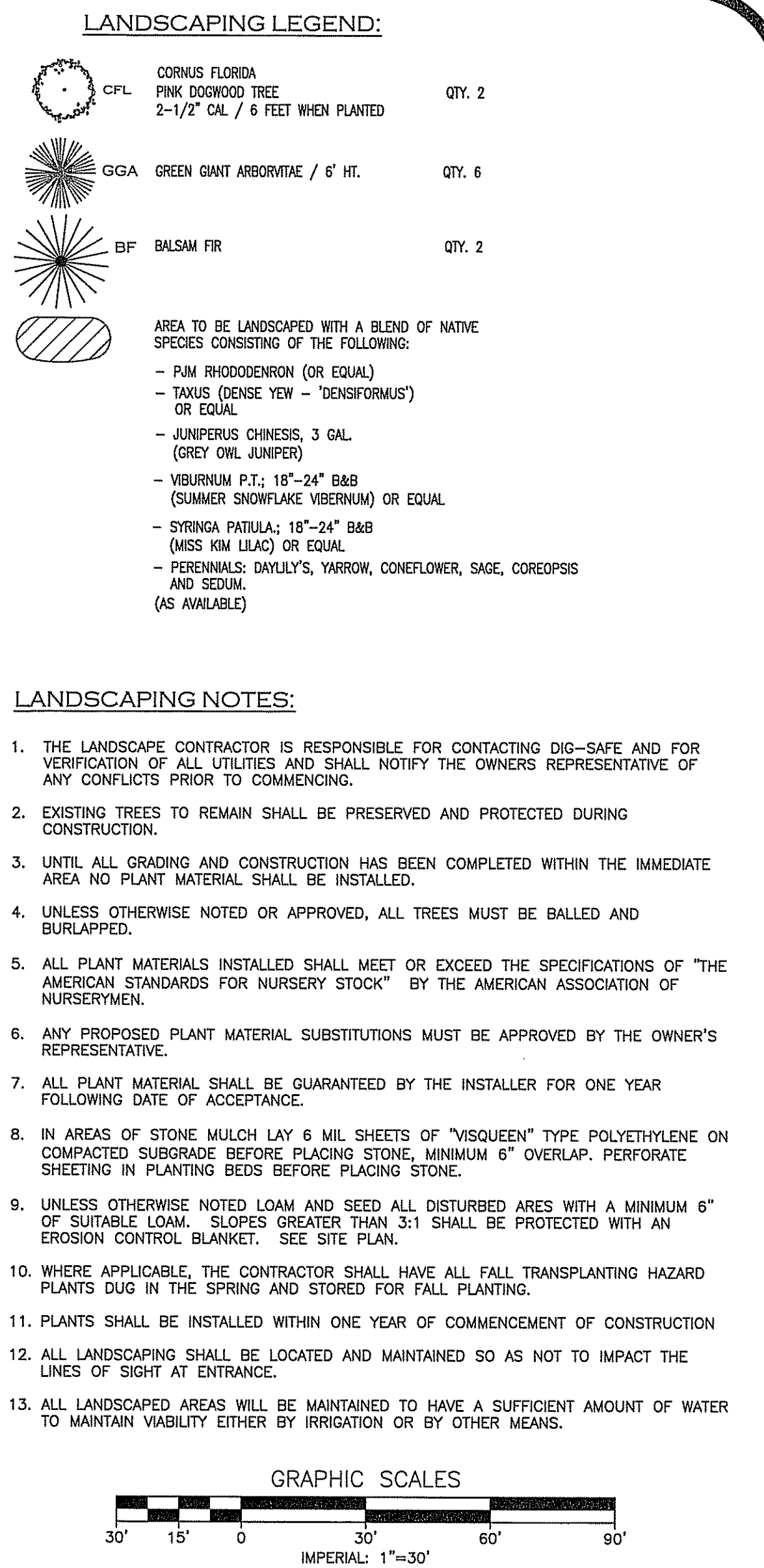
Die cast aluminum housing with superior heat sink • Scratch resistant Polyester powder coat finish • UV resistant polycarbonate lens • Snap-fit housing and mounting plate are held together by four stainless steel clips • Universal mounting pattern molded into the back plate • 1/2" threaded top access for surface conduit installation • Silicone rubber seal with hollow center, shape adaptive design protects the electrical components • Junction box neoprene seal is attached to the back plate for a weather proof installation • Dark Bronze or White textured finish.

ELECTRICAL

Dual voltage 120/277VAC 60Hz input • Solid state charging and switching • Battery low voltage disconnect • AC power indicator and test switch at the bottom of the unit • Standard with Self Diagnostics to monitor proper operation.

LAMPS

Supplied with eight (8) LG SMD 4000K LED'S • L70 > 72,000hours • 17 Watts total (32 Watts with IH option) • 1600 Lumens in AC mode, 600 Lumens in Emergency mode • Full cut-off optics for Dark Sky compliance



CONTACT DIG SAFE
72 HOURS PRIOR
TO CONSTRUCTION

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OR DIAL 8 1 1

IT'S SMART, IT'S FREE, IT'S THE LAW



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1. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REQUIREMENTS AND SPECIFICATIONS OF THE TOWN OF HENNIKER.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL VERIFY THAT ALL THE INFORMATION SHOWN HEREON IS CONSISTENT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTED PRIOR TO AND/OR DURING CONSTRUCTION. FIELDSTONE LAND CONSULTANTS, PLLC, AS THE DESIGN ENGINEER, SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EXISTING UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
3. THE CONTRACTOR SHALL CONTACT "DIGSAFE" 72 HOURS PRIOR TO THE START OF CONSTRUCTION (811).
4. COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND SPECIAL CONDITIONS OF TOWN/CITY AGENCIES, SUCH AS THE PLANNING BOARD, ZONING BOARD, CONSERVATION COMMISSION, AND OTHERS, IS MANDATORY AND IS THE RESPONSIBILITY OF THE OWNER.
5. ANY ALTERATION OF THIS DESIGN OR CHANGE DURING CONSTRUCTION MAY REQUIRE APPROVAL OF VARIOUS TOWN/CITY BOARDS OR AGENCIES AND SHALL BE DISCUSSED WITH THE OWNER AND FIELDSTONE LAND CONSULTANTS, PLLC PRIOR TO CONSTRUCTION.
6. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE TOWN DEPARTMENTS PRIOR TO CONSTRUCTION TO ARRANGE FOR NECESSARY INSPECTIONS.
7. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ACCURATE AS-BUILT INFORMATION OF ALL WORK, ESPECIALLY UNDERGROUND CONSTRUCTION OF UTILITY LINES, SERVICES, CONNECTIONS, ETC. AND APPROPRIATE TIES TO ABOVE GROUND PERMANENT STRUCTURES, FIELD SURVEY COORDINATES, OR SOME OTHER METHOD OF ESTABLISHING THE AS-BUILT CONDITION OF ALL CONSTRUCTION.

GENERAL CONSTRUCTION NOTES

1
DT-1

1. [IF MORE THAN 5000 CUBIC YARDS ARE BLASTED] IDENTIFY DRINKING WATER WELLS LOCATED WITHIN 2000 FEET OF THE PROPOSED BLASTING ACTIVITIES. DEVELOP A GROUNDWATER QUALITY SAMPLING PROGRAM TO MONITOR FOR NITRATE AND NITRITE EITHER IN THE DRINKING WATER SUPPLY WELLS OR IN OTHER WELLS THAT ARE REPRESENTATIVE OF THE DRINKING WATER SUPPLY WELLS IN THE AREA. THE PLAN MUST INCLUDE PRE AND POST BLAST WATER QUALITY MONITORING AND BE APPROVED BY NHDES PRIOR TO INITIATING BLASTING. THE GROUNDWATER SAMPLING PROGRAM MUST BE IMPLEMENTED ONCE APPROVED BY NHDES.

2. [APPLIES TO ALL BLASTING] THE FOLLOWING BEST MANAGEMENT PROCEDURES FOR BLASTING SHALL BE COMPLIED WITH:

- (1) LOADING PRACTICES. THE FOLLOWING BLASTHOLE LOADING PRACTICES TO MINIMIZE ENVIRONMENTAL EFFECTS SHALL BE FOLLOWED:

- (A) DRILLING LOGS SHALL BE MAINTAINED BY THE DRILLER AND COMMUNICATED DIRECTLY TO THE BLASTER. THE LOGS SHALL INDICATE DEPTHS AND LENGTHS OF VOIDS, CAVITIES, AND FAULT ZONES OR OTHER WEAK ZONES ENCOUNTERED AS WELL AS GROUNDWATER CONDITIONS.

- (B) EXPLOSIVE PRODUCTS SHALL BE MANAGED ON-SITE SO THAT THEY ARE EITHER USED IN THE BOREHOLE, RETURNED TO THE DELIVERY VEHICLE, OR PLACED IN SECURE CONTAINERS FOR OFF-SITE DISPOSAL.

- (C) SPILLAGE AROUND THE BOREHOLE SHALL EITHER BE PLACED IN THE BOREHOLE OR CLEANED UP AND RETURNED TO AN APPROPRIATE VEHICLE FOR HANDLING OR PLACEMENT IN SECURED CONTAINERS FOR OFF-SITE DISPOSAL.

- (D) LOADED EXPLOSIVES SHALL BE DETONATED AS SOON AS POSSIBLE AND SHALL NOT BE LEFT IN THE BLASTHOLES OVERNIGHT, UNLESS WEATHER OR OTHER SAFETY CONCERNS REASONABLY DICTATE THAT DETONATION SHOULD BE POSTPONED.

- (E) LOADING EQUIPMENT SHALL BE CLEANED IN AN AREA WHERE WASTEWATER CAN BE PROPERLY CONTAINED AND HANDLED IN A MANNER THAT PREVENTS RELEASE OF CONTAMINANTS TO THE ENVIRONMENT.

- (F) EXPLOSIVES SHALL BE LOADED TO MAINTAIN GOOD CONTINUITY IN THE COLUMN LOAD TO PROMOTE COMPLETE DETONATION. INDUSTRY ACCEPTED LOADING PRACTICES FOR PRIMING, STEMMING, DECKING AND COLUMN RISE NEED TO BE ATTENDED TO.

- (2) EXPLOSIVE SELECTION. THE FOLLOWING BMPs SHALL BE FOLLOWED TO REDUCE THE POTENTIAL FOR GROUNDWATER CONTAMINATION WHEN EXPLOSIVES ARE USED:

- (A) EXPLOSIVE PRODUCTS SHALL BE SELECTED THAT ARE APPROPRIATE FOR SITE CONDITIONS AND SAFE BLAST EXECUTION.

- (B) EXPLOSIVE PRODUCTS SHALL BE SELECTED THAT HAVE THE APPROPRIATE WATER RESISTANCE FOR THE SITE CONDITIONS PRESENT TO MINIMIZE THE POTENTIAL FOR HAZARDOUS EFFECT OF THE PRODUCT UPON GROUNDWATER.

- (3) PREVENTION OF MISFIRES. APPROPRIATE PRACTICES SHALL BE DEVELOPED AND IMPLEMENTED TO PREVENT MISFIRES.

- (4) MUCK PILE MANAGEMENT. MUCK PILES (THE BLASTED PIECES OF ROCK) AND ROCK PILES SHALL BE MANAGED IN A MANNER TO REDUCE THE POTENTIAL FOR CONTAMINATION BY IMPLEMENTING THE FOLLOWING MEASURES:

- (A) REMOVE THE MUCK PILE FROM THE BLAST AREA AS SOON AS REASONABLY POSSIBLE.

- (B) MANAGE THE INTERACTION OF BLASTED ROCK PILES AND STORMWATER TO PREVENT CONTAMINATION OF WATER SUPPLY WELLS OR SURFACE WATER.

- (5) SPILL PREVENTION MEASURES AND SPILL MITIGATION. SPILL PREVENTION AND SPILL MITIGATION MEASURES SHALL BE IMPLEMENTED TO PREVENT THE RELEASE OF FUEL AND OTHER RELATED SUBSTANCES TO THE ENVIRONMENT. THE MEASURES SHALL INCLUDE AT A MINIMUM:

- (A) THE FUEL STORAGE REQUIREMENTS SHALL INCLUDE:

1. STORAGE OF REGULATED SUBSTANCES ON AN IMPERVIOUS SURFACE;
2. SECURE STORAGE AREAS AGAINST UNAUTHORIZED ENTRY;
3. LABEL REGULATED CONTAINERS CLEARLY AND VISIBLY;
4. INSPECT STORAGE AREAS WEEKLY;
5. COVER REGULATED CONTAINERS IN OUTSIDE STORAGE AREAS;
6. WHEREVER POSSIBLE, KEEP REGULATED CONTAINERS THAT ARE STORED OUTSIDE MORE THAN 50 FEET FROM SURFACE WATER AND STORM DRAINS, 75 FEET FROM PRIVATE WELLS, AND 400 FEET FROM PUBLIC WELLS; AND
7. SECONDARY CONTAINMENT IS REQUIRED FOR CONTAINERS CONTAINING REGULATED SUBSTANCES STORED OUTSIDE, EXCEPT FOR ON PREMISE USE HEATING FUEL TANKS, OR ABOVEGROUND OR UNDERGROUND STORAGE TANKS OTHERWISE REGULATED.

- (B) THE FUEL HANDLING REQUIREMENTS SHALL INCLUDE:

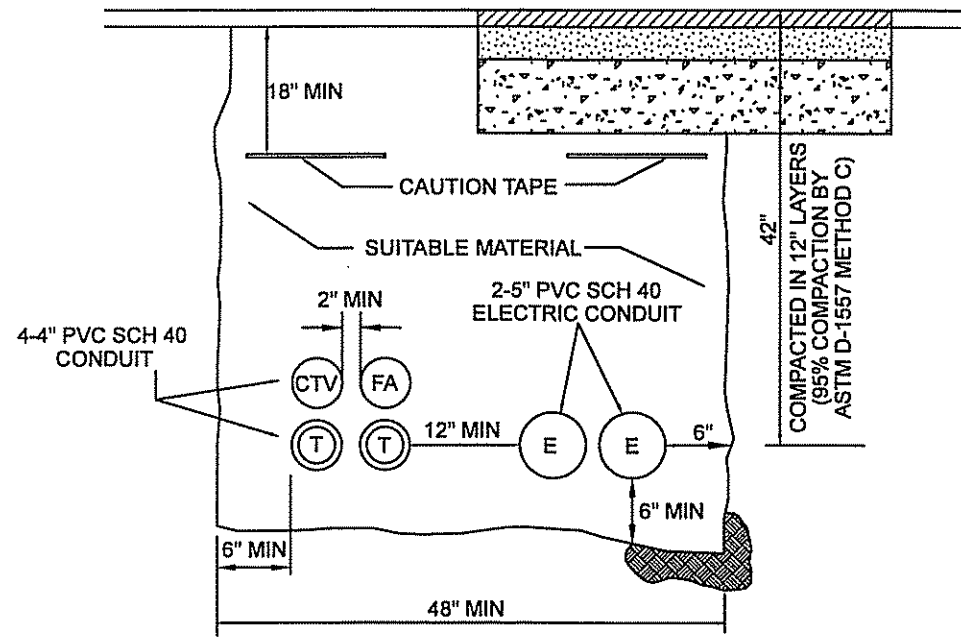
1. EXCEPT WHEN IN USE, KEEP CONTAINERS CONTAINING REGULATED SUBSTANCES CLOSED AND SEALED;
2. PLACE DRIP PANS UNDER SPIGOTS, VALVES, AND PUMPS;
3. HAVE SPILL CONTROL AND CONTAINMENT EQUIPMENT READILY AVAILABLE IN ALL WORK AREAS;
4. USE FUNNELS WHEN TRANSFERRING REGULATED SUBSTANCES; AND
5. PERFORM TRANSFERS OF REGULATED SUBSTANCES OVER AN IMPERVIOUS SURFACE.

- (C) THE TRAINING OF ON-SITE EMPLOYEES AND THE ON-SITE POSTING OF RELEASE RESPONSE INFORMATION DESCRIBING WHAT TO DO IN THE EVENT OF A SPILL OF REGULATED SUBSTANCES.

- (D) FUELING AND MAINTENANCE OF EXCAVATION, EARTH-MOVING AND OTHER CONSTRUCTION RELATED EQUIPMENT WILL COMPLY WITH THE REGULATIONS OF THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES (NOTE THESE REQUIREMENTS ARE SUMMARIZED IN WD-DWGB-22.6 BEST MANAGEMENT PRACTICES FOR FUELING AND MAINTENANCE OF EXCAVATION AND EARTH-MOVING EQUIPMENT" OR ITS SUCCESSOR DOCUMENT. (SEE [HTTP://DES.NH.GOV/ORGANIZATION/COMMISSIONER/PIP/FACTSHEETS/DWGB/DOCUMENTS/DWGB-22.6.PDF](http://des.nh.gov/organization/commissioner/PIP/FACTSHEETS/DWGB/DOCUMENTS/DWGB-22.6.PDF))

BLASTING NOTES

2
DT-1

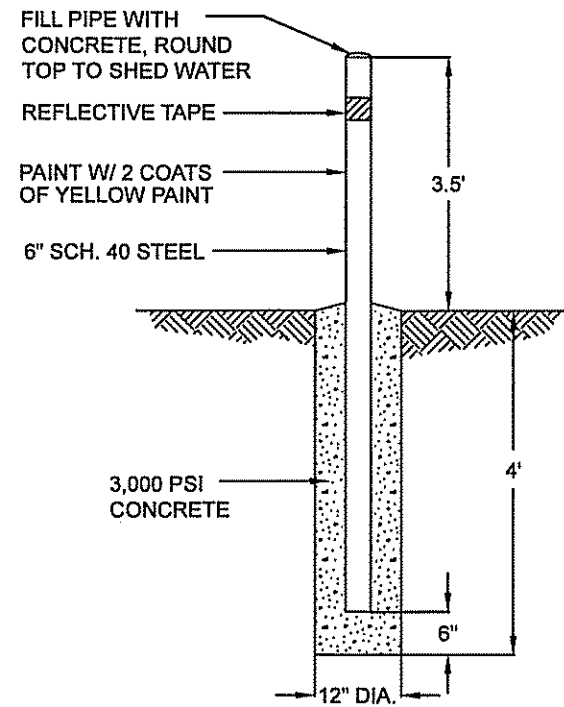


NOTE:
ALL CONDUIT AND TRENCH WORK SHALL
CONFORM TO THEIR RESPECTIVE UTILITY
COMPANY REQUIREMENTS

SCALE: N.T.S.

TYPICAL UTILITY TRENCH

3
DT-1

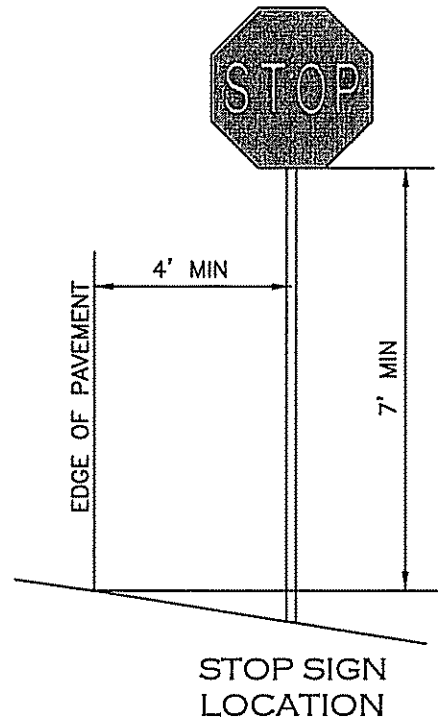


OR APPROVED EQUAL

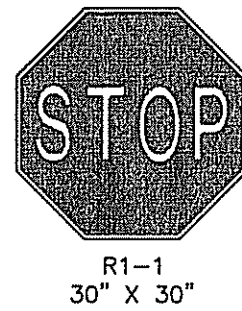
SCALE: N.T.S.

BOLLARD

6
DT-1



STOP SIGN
LOCATION



NOTES:

1. ALL SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST "NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AND THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD).

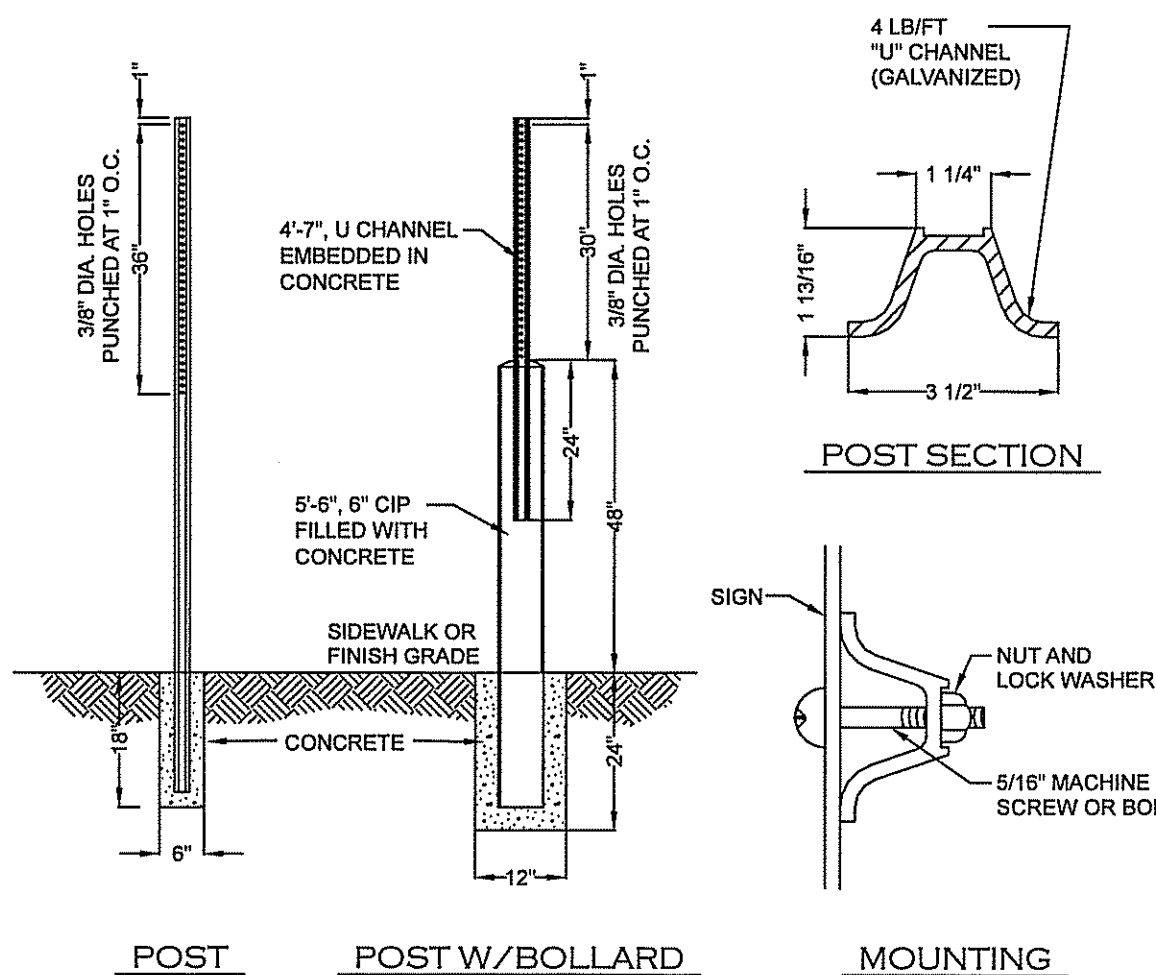
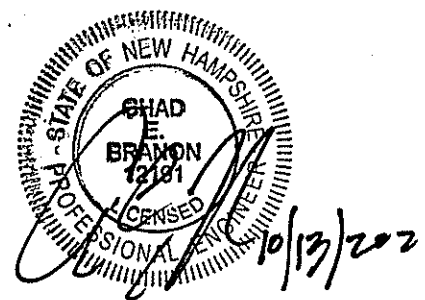
2. THE CONTRACTOR IS RESPONSIBLE FOR THE LAYOUT OF ALL SIGNAGE AND PAVEMENT MARKINGS.

3. ALL APPROPRIATE SIGNAGE SHALL BE INSTALLED PRIOR TO ROAD ACCEPTANCE.

SCALE: N.T.S.

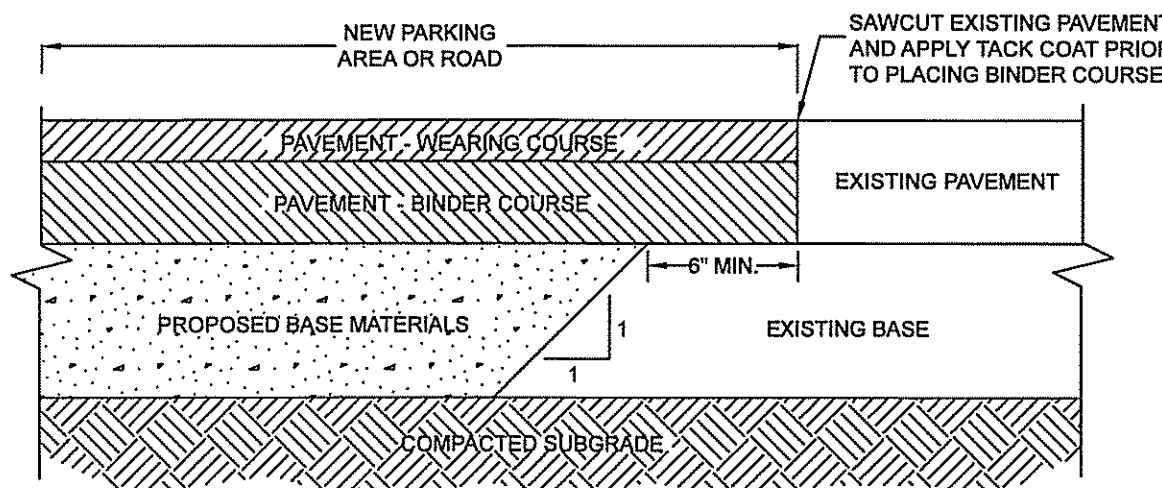
TRAFFIC SIGNS - ON SITE

8
DT-1



SIGN POST - STANDARD & W/BOLLARD

7
DT-1

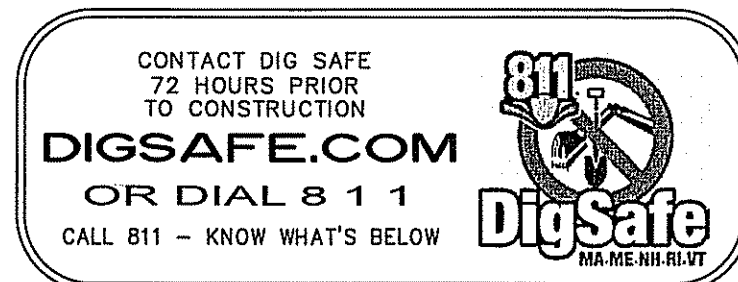


NOTE:
1. SEE ROADWAY OR PARKING LOT SECTION FOR MATERIALS AND ASSOCIATED DEPTHS.
2. INFRARED JOINT AFTER PLACING PAVEMENT.

SCALE: N.T.S.

PAVEMENT MATCH - AT ROADWAY

5
DT-1



REV.	DATE	DESCRIPTION	C/O	DR	CK
-	-	-	-	-	-
-	-	-	-	-	-
-	-	-	-	-	-

CONSTRUCTION DETAILS

TAX MAP 115 LOT 549-B & 549-E

(852 & 872 OLD CONCORD ROAD)

HENNIKER, NEW HAMPSHIRE

PREPARED FOR:

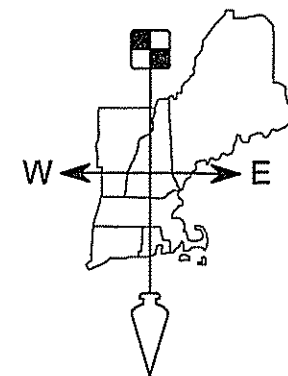
MAC MILFORD REALTY, LLC

5 CIARDELLI CROSSING, MILFORD, NH 03055

SCALE: N.T.S.

OCTOBER 13, 2021

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs



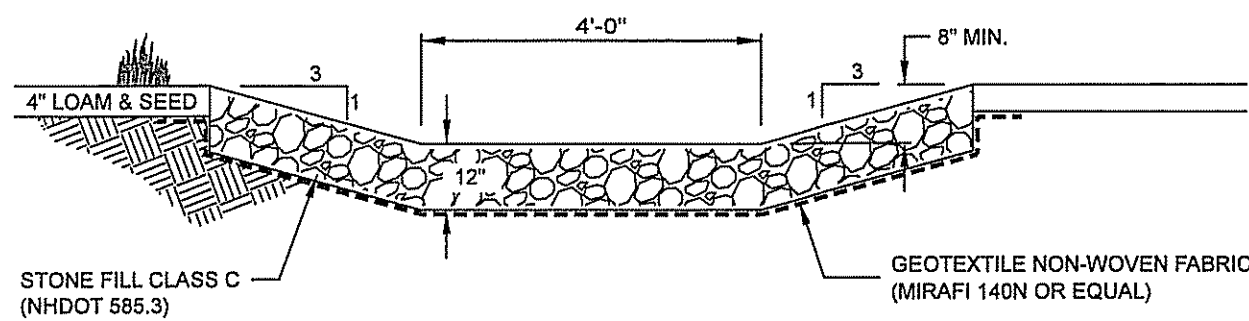
FIELDSTONE
LAND CONSULTANTS, PLLC

206 Elm Street, Milford, NH 03055
Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com

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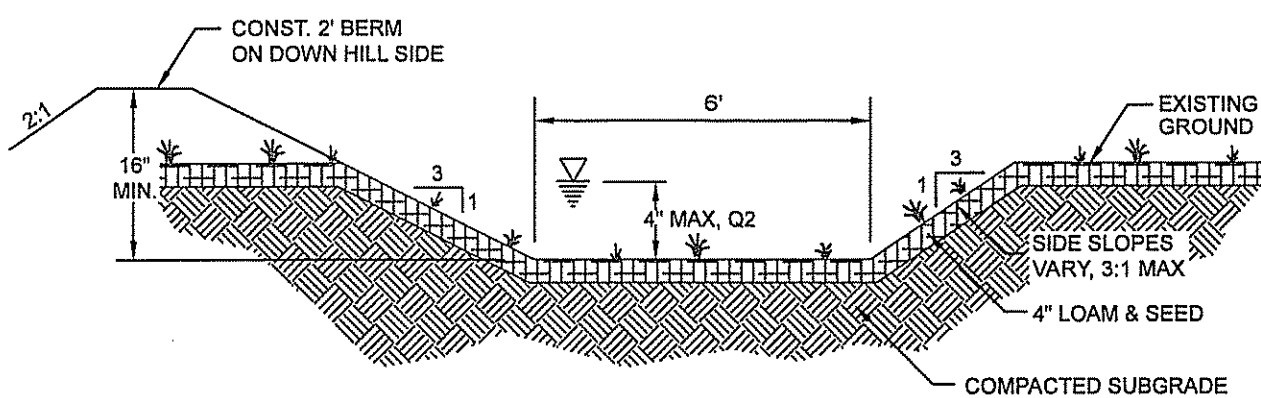
BLASTING NOTES

1
DT-2



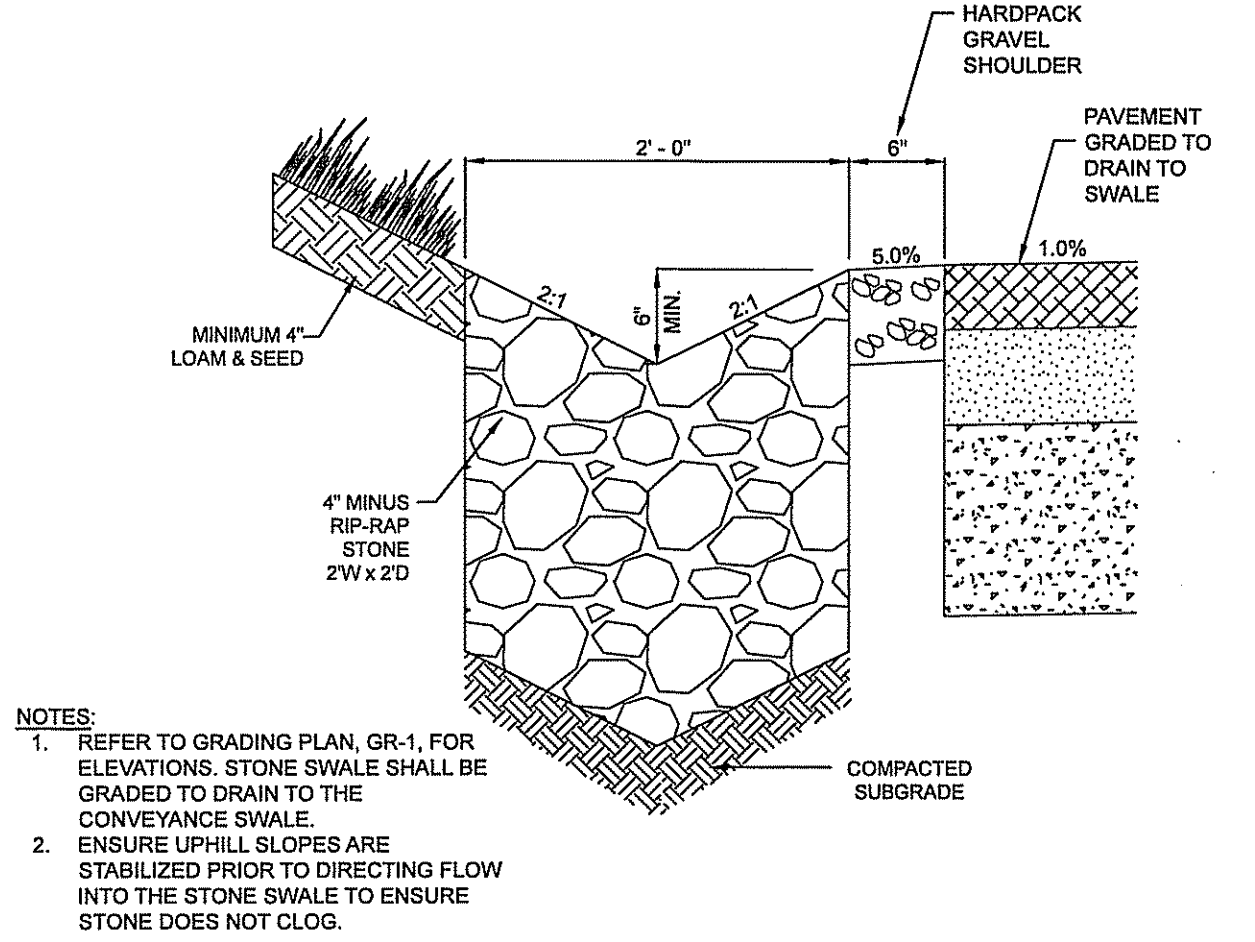
RIP RAP SPILLWAY - SEDIMENT FOREBAY

2
DT-2



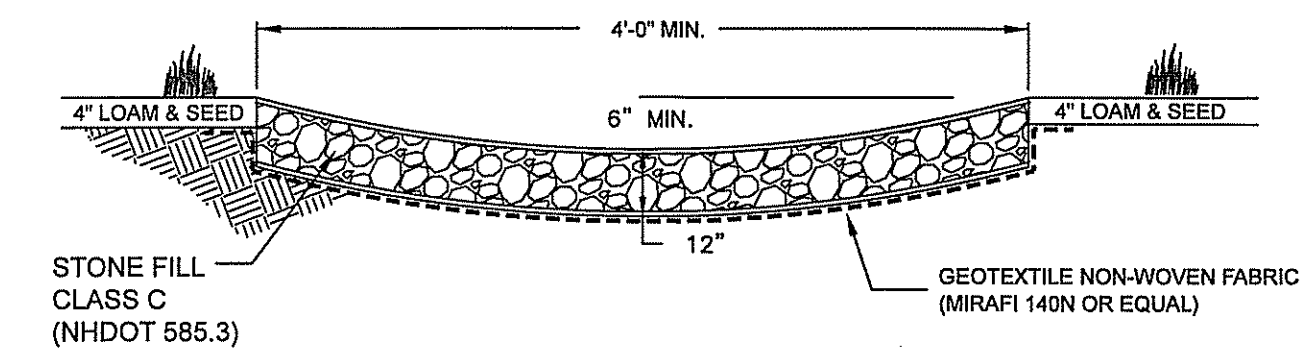
GRASS TREATMENT SWALE

3
DT-2



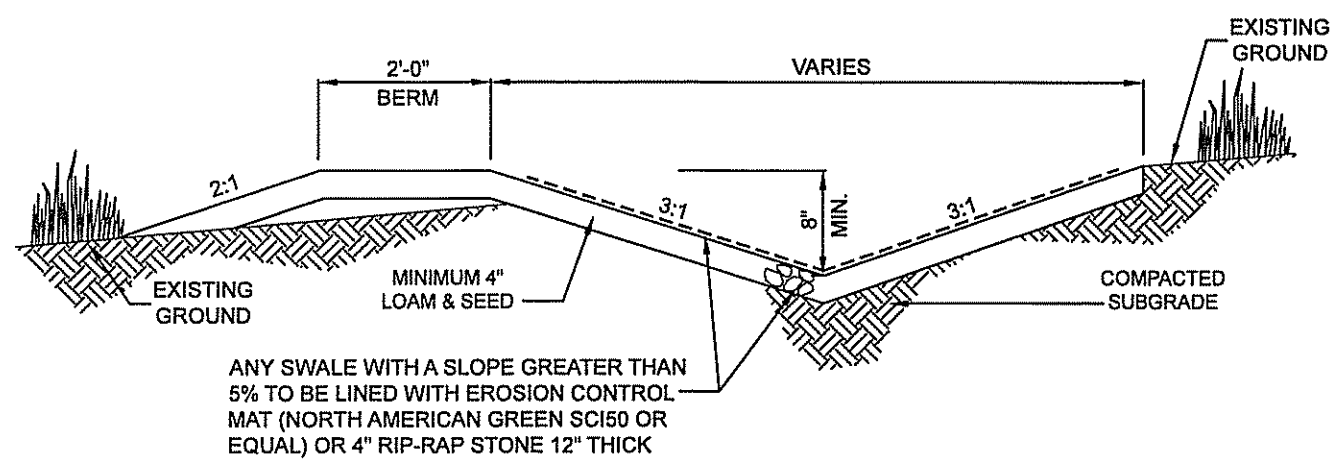
TYPICAL STONE SWALE DETAIL

4
DT-2



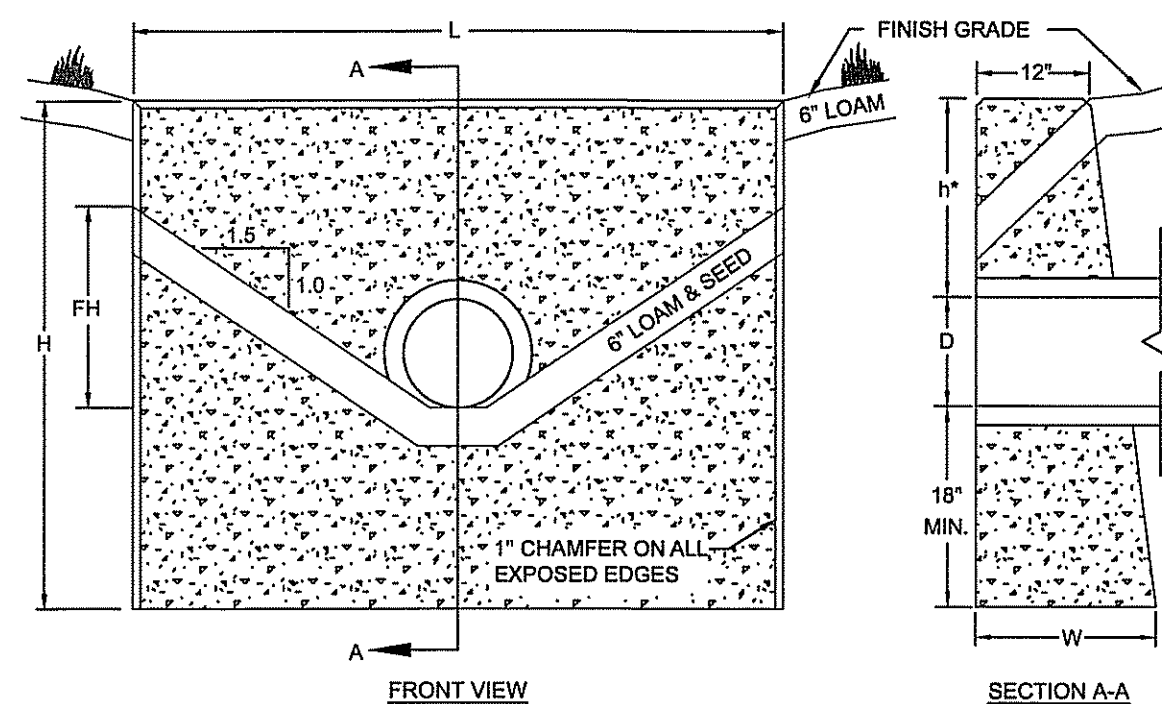
RIP RAP FLUME - INLET TO DETENTION BASIN

5
DT-2



TYPICAL CONVEYANCE SWALE DETAIL

6
DT-2



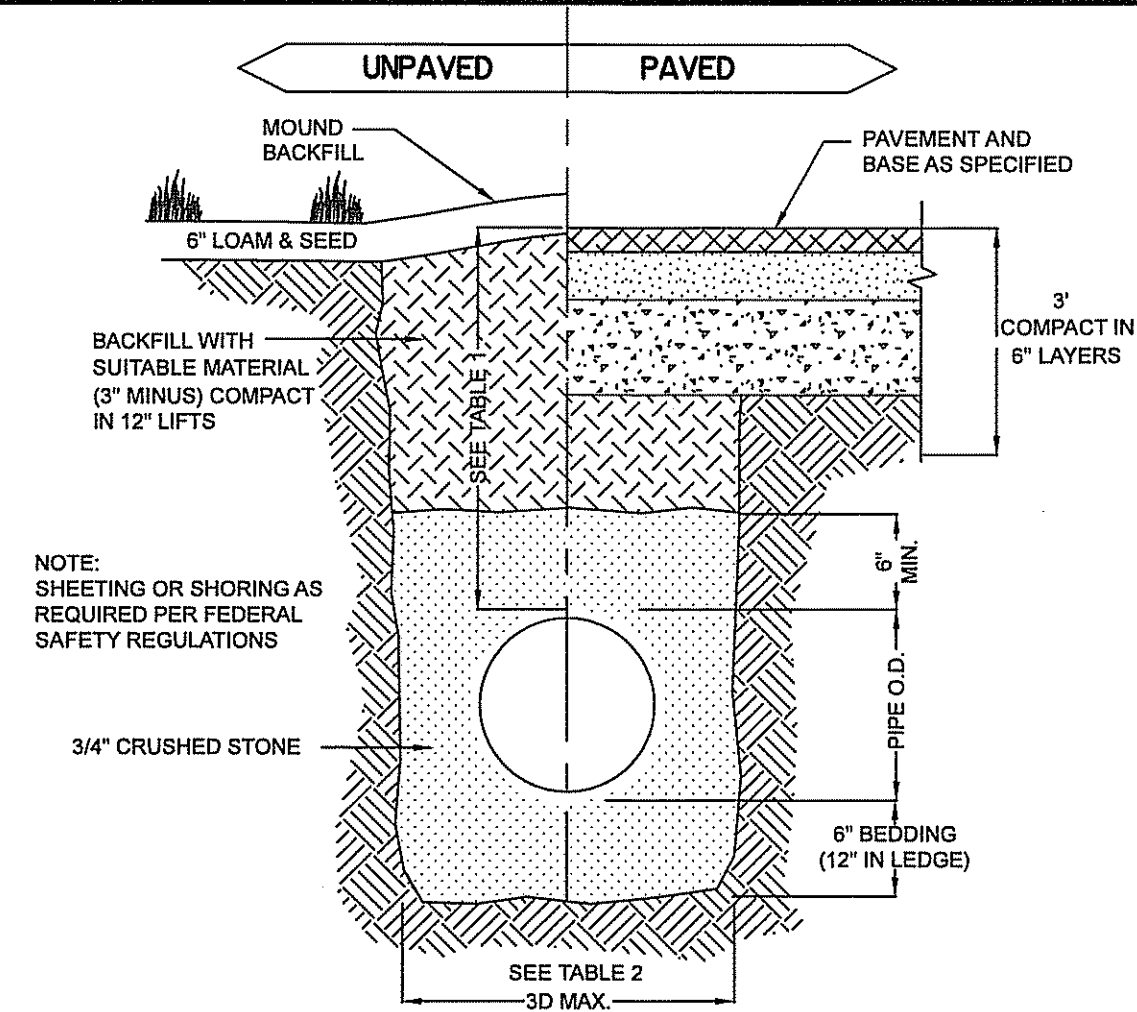
CULVERT DIAM.	HEADWALL LENGTH	HEADWALL HEIGHT	FILL HEIGHT	TOP HEIGHT	HEADWALL BOTTOM
D	L	H	h	h	W
INCHES	FEET & INCHES				
12	4'-3"	3'-9"	1'-1"	1'-3"	1'-11.25"
15	6'-0"	4'-3"	1'-7"	1'-6"	2'-0.75"
18	7'-0"	4'-6"	1'-10"	1'-8"	2'-1.50"

HEADWALL SHALL BE STEEL REINFORCED AND CONFORM TO NHDOT STANDARD PLAN HW-2, LAST REVISED JUNE 16, 2010.

SCALE: N.T.S.

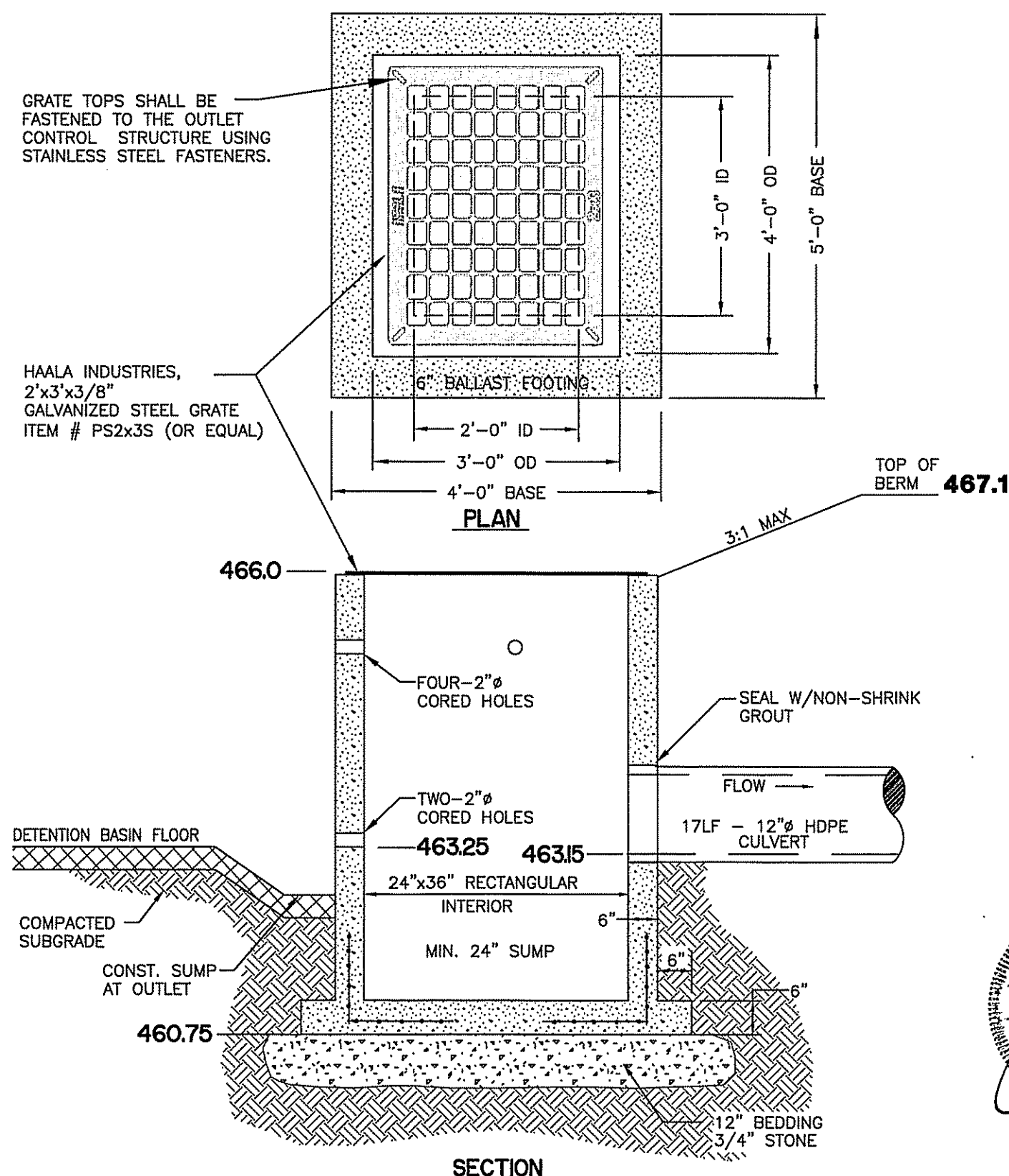
HEADWALL - PRECAST CONCRETE

7
DT-2



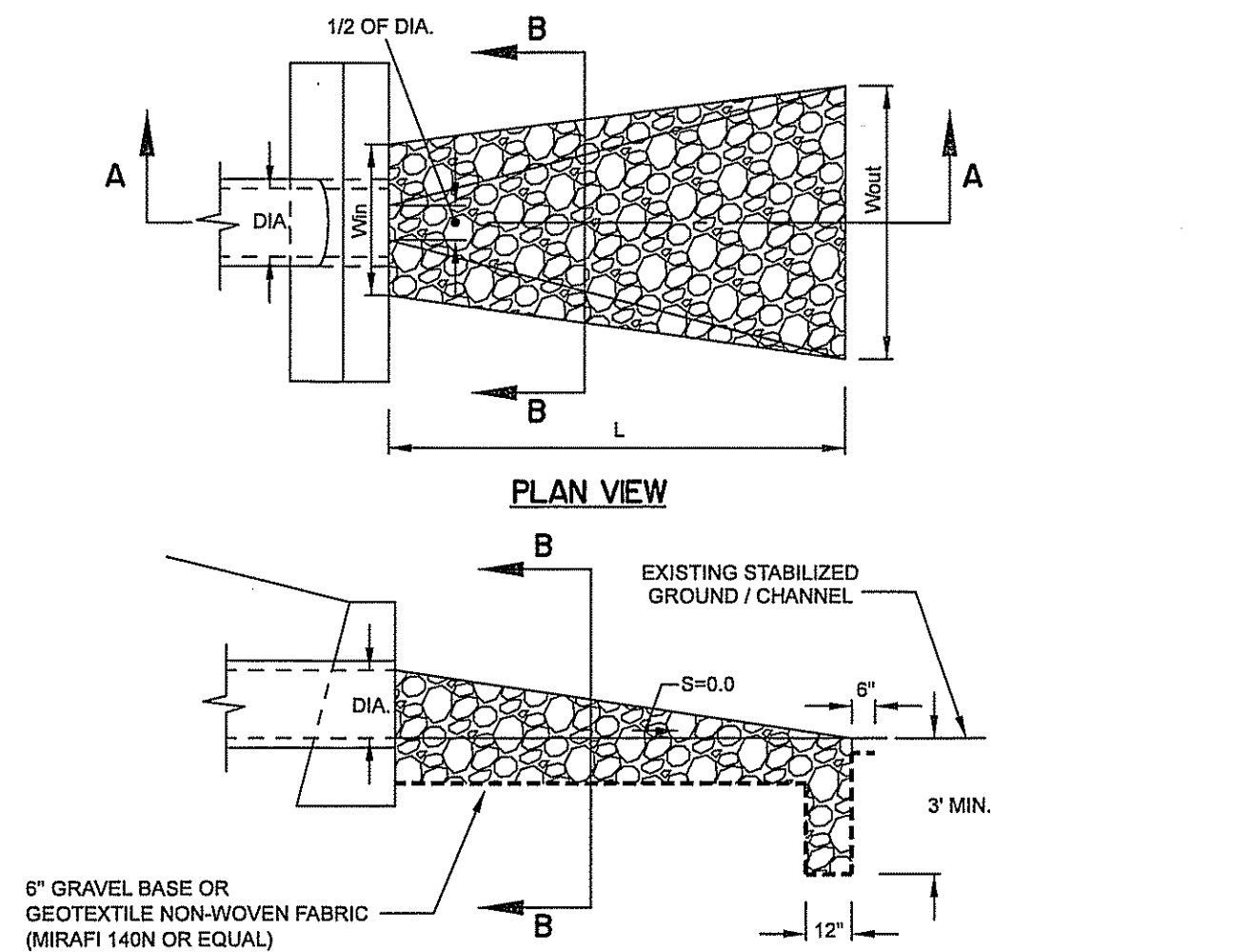
DRAINAGE TRENCH (TYPICAL)

8
DT-2



STORMWATER BASIN OUTLET STRUCTURE

9
DT-2

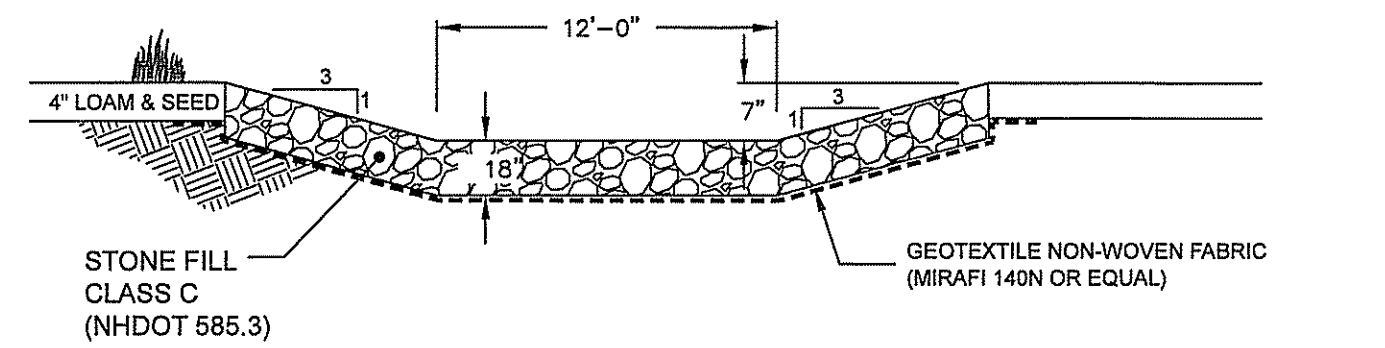


SECTION A-A					
STRUCTURE	LENGTH	WIDTH (IN)	WIDTH (OUT)	d50	THICKNESS
HW1	12	3	8	4"	12"

SCALE: N.T.S.

RIP-RAP OUTLET PROTECTION

10
DT-2



EMERGENCY SPILLWAY DETAIL

11
DT-2

REV.	DATE	DESCRIPTION	C/O	DR	CK

CONSTRUCTION DETAILS

TAX MAP 115 LOT 549-B & 549-E
(852 & 872 OLD CONCORD ROAD)
HENNIKER, NEW HAMPSHIRE

PREPARED FOR:

MAC MILFORD REALTY, LLC
5 CIARDELLI CROSSING, MILFORD, NH 03085

SCALE: N.T.S.

OCTOBER 13, 2021

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

FIELDSTONE
LAND CONSULTANTS, PLLC

206 Elm Street, Milford, NH 03055
Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com

1. INSTALL STONE CHECK DAMS AND SILTATION CONTROL FENCES IN LOCATIONS SHOWN ON PLANS. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATION.
2. INSTALL STABILIZED CONSTRUCTION ENTRANCE(S).
3. CUT AND CLEAR TREES; DISPOSE OF DEBRIS. STUMPS ARE TO BE BURIED ON SITE AT THE LOCATIONS SHOWN. STUMPS SHALL BE COMPACTED AND ALL VOIDS FILLED WITH SUITABLE MATERIAL. COVER WITH 4" OF LOAM AND SEED PER THE EROSION CONTROL NOTES.
4. REMOVE TOPSOIL AND STOCKPILE AWAY FROM ANY WETLAND. STABILIZE STOCKPILE IMMEDIATELY BY SEEDING. PLACE SILT FENCE AROUND THE DOWN SLOPE SIDE OF EARTH STOCKPILES.
5. ROUGH GRADE SITE - CONSTRUCT DRAINAGE BASINS AND DRAINAGE SWALES DURING INITIAL PORTION OF CONSTRUCTION. STABILIZE IMMEDIATELY PER THE CONSTRUCTION AND EROSION CONTROL DETAILS. DO NOT DIRECT STORM WATER RUNOFF TO THESE STRUCTURES UNTIL A HEALTHY VEGETATIVE COVER IS ESTABLISHED.
6. CONSTRUCT STORAGE BUILDINGS, PAVED AREAS AND ASSOCIATED SITE IMPROVEMENTS AS SHOWN. ALL CUT AND FILL SLOPES SHALL BE STABILIZED UPON COMPLETION OF ROUGH GRADING PER THE EROSION CONTROL NOTES.
7. PLACE STONE CHECK DAMS AROUND INLETS AROUND ALL STRUCTURES UNTIL AREAS ARE STABLE AND ALL NON-PAVED DISTURBED AREAS HAVE A HEALTHY VEGETATIVE COVER. SILT SACKS MAY BE UTILIZED IN PLACE OF STONE CHECK DAMS ON CATCH BASINS.
8. INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS AND AFTER EVERY 0.25" OR GREATER RAINFALL.
9. DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, CULVERTS, DITCHES, SILTATION FENCES, SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED.
10. FINISH GRADING AND PREPARE FOR LOAMING. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS AFTER FINAL GRADING.
11. FINISH CONSTRUCTING STORAGE BUILDINGS AND PAVED AREAS. PERMANENT SEEDING SHALL BE PERFORMED UPON COMPLETION OF DRIVE AND PARKING AREA PAVING (SEE EROSION CONTROL NOTES).
12. COMPLETE PERMANENT SEEDING AND LANDSCAPING.
13. TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED.
14. STORMWATER FLOWS ARE NOT TO BE DIRECTED INTO THE STORMWATER BASINS UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
15. ALL STRUCTURES SHALL BE CLEANED OF SEDIMENTS ONCE CONSTRUCTION IS COMPLETE.

CONSTRUCTION SEQUENCE NOTES

1
DT-3

EROSION CONTROL (GENERAL CONSTRUCTION)

1. PRIOR TO STARTING ANY WORK ON THE SITE THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES.
2. EROSION CONTROL MEASURES SHALL BE INSTALLED PER PLANS AND DETAILS. PERIMETER CONTROLS SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF EARTH DISTURBING ACTIVITIES.
3. EXISTING VEGETATION IS TO REMAIN UNDISTURBED WHEN POSSIBLE.
4. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE KEPT CLEAN DURING CONSTRUCTION. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AT LEAST ONCE A WEEK AND AFTER EVERY 0.25-INCH OR GREATER RAINFALL. SEDIMENTS SHALL BE DISPOSED OF IN AN UPLAND AREA THAT WILL NOT CONTRIBUTE TO SEDIMENT OFF-SITE AND BE PERMANENTLY STABILIZED.
5. THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION.
6. THE LAND AREA EXPOSED SHALL BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME. ALL NON-ACTIVE DISTURBED AREAS SHALL BE STABILIZED WITHIN 30 DAYS OF THE DISTURBANCE. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF FINAL GRADING.
7. DITCHES, SWALES AND DRAINAGE BASINS SHALL BE CONSTRUCTED DURING THE INITIAL PHASE OF CONSTRUCTION AND STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
8. AN AREA SHALL BE CONSIDERED STABILIZED IF ONE OF THE FOLLOWING HAS OCCURRED:
 - A. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
 - B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - C. A MINIMUM OF 3-INCHES OF NON-EROSIVE MATERIAL, SUCH AS STONE OR RIPRAP, HAS BEEN INSTALLED; OR
 - D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
9. EROSION CONTROL BLANKETS SHALL BE INSTALLED ON ALL SLOPES THAT ARE STEEPER THAN 3:1 (HORIZONTAL / VERTICAL), UNLESS OTHERWISE SPECIFIED THE CONTRACTOR SHALL USE NORTH AMERICAN GREEN SC150, OR APPROVED EQUAL.
10. ALL AREAS RECEIVING EROSION CONTROL STONE OR RIPRAP SHALL HAVE A GEOTEXTILE MATERIAL INSTALLED BELOW THE STONE (SEE APPROPRIATE DETAILS).
11. ALL DISTURBED AREAS TO TURF FINISHED SHALL BE COVERED WITH A MINIMUM THICKNESS OF 4 INCHES OF COMPACTED LOAM. LOAM SHALL BE COVERED WITH THE APPROPRIATE SEED MIXTURE AS INDICATED BELOW.

PERMANENT SEED (LAWN AREAS)

POUNDS / 1,000 SQUARE FEET

CREeping RED FESCUE	0.92 LBS
PERENNIAL RYEGRASS	1.15 LBS
KENTUCKY BLUEGRASS	0.59 LBS
REDTOP	0.12 LBS

APPLICATION RATE TOTALS 2.8 LBS PER 1,000 SF

12. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. IF SOIL TESTING IS NOT FEASIBLE (CRITICAL TIME FRAMES OR VARIABLE SITES) THEN APPLY FERTILIZER AT A RATE OF 11 POUNDS PER 1,000 SF AND LIMESTONE AT A RATE OF 90 POUNDS PER 1,000 SF. FERTILIZER SHALL BE LOW PHOSPHATE (LESS THAN 2% PHOSPHORUS).
- CAUTION SHOULD BE TAKE WHEN THE PROPERTY IS LOCATED WITHIN 250 FEET OF A WATER BODY. IN THIS CASE ALL FERTILIZERS SHALL BE RESTRICTED TO A LOW PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER. SLOW RELEASE FERTILIZERS MUST BE AT LEAST 50% SLOW RELEASE NITROGEN COMPONENT. NO FERTILIZER EXCEPT LIMESTONE SHALL BE APPLIED WITHIN 25 FEET OF THE SURFACE WATER. THESE ARE REGULATED LIMITATIONS.

13. PERMANENT OR TEMPORARY COVER MUST BE IN PLACE BEFORE THE GROWING SEASON ENDS (SEE WINTER CONSTRUCTION NOTES). NO DISTURBED AREAS SHALL BE LEFT EXPOSED DURING THE WINTER MONTHS.

14. A VIGOROUS DUST CONTROL PROGRAM SHALL BE APPLIED BY THE SITE CONTRACTOR. DUST SHALL BE MANAGED THROUGH THE USE OF WATER.

15. IN NO WAY ARE THE MEASURES INDICATED ON THE PLANS OR IN THESE NOTES TO BE CONSIDERED ALL INCLUSIVE. THE CONTRACTOR SHALL USE JUDGMENT TO INSTALL ADDITIONAL EROSION CONTROL MEASURES AS SITE CONDITIONS, WEATHER OR CONSTRUCTION METHODS WARRANT.

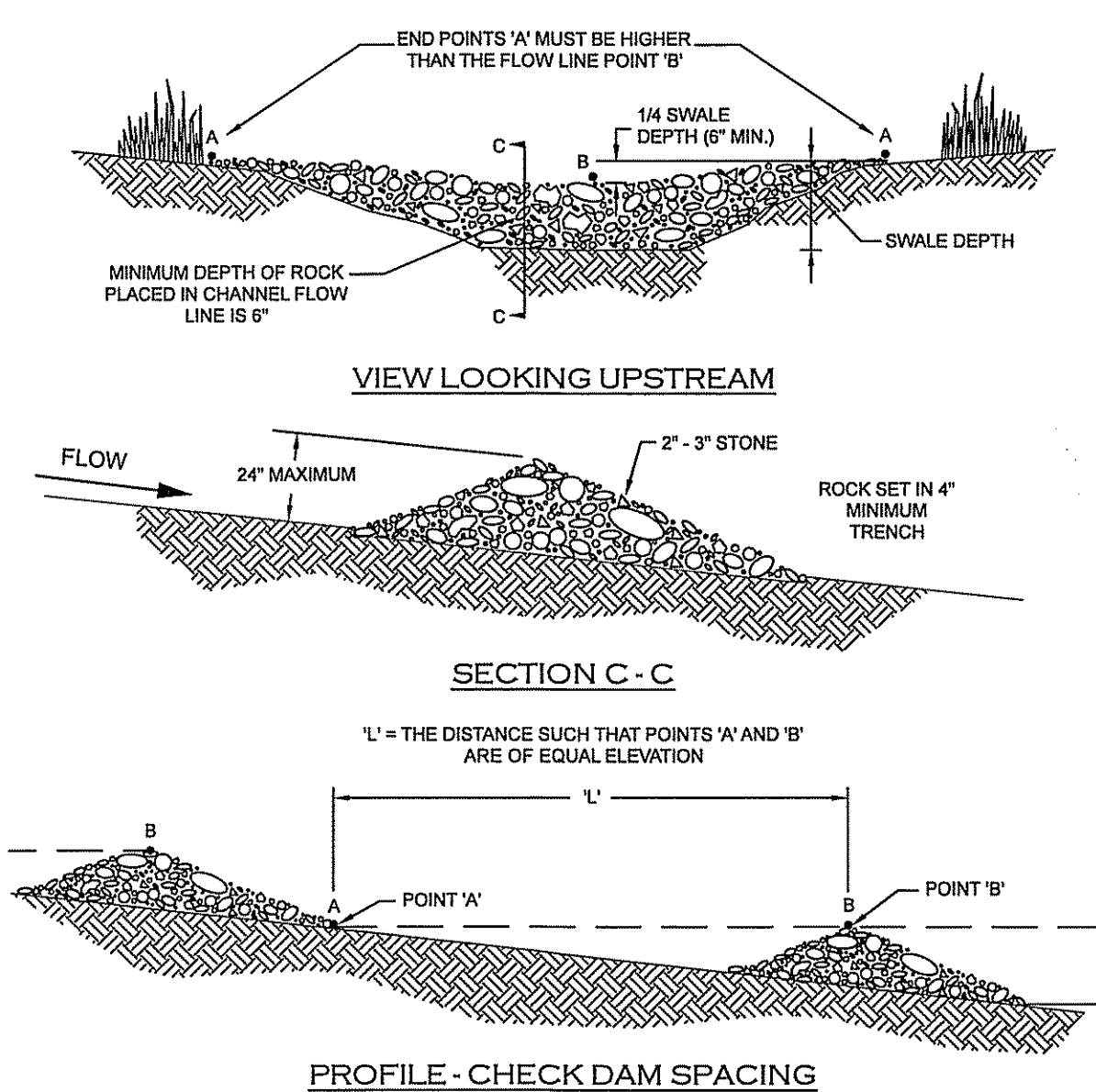
16. FOLLOWING PERMANENT STABILIZATION, TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AND ACCUMULATED SEDIMENTATION IS TO BE DISPOSED OF IN AN APPROVED LOCATION, OUTSIDE OF JURISDICTIONAL WETLANDS.

EROSION CONTROL (WINTER CONSTRUCTION)

1. ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED. STABILIZATION METHODS SHALL INCLUDE SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE, THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
2. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
3. AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL OR PROPERLY INSTALL EROSION CONTROL BLANKETS COVERED WITH HAY. OTHER STABILIZATION OPTIONS ARE TO BE APPROVED BY THE APPROPRIATE AGENCIES AND THE DESIGN ENGINEER. IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER MONTHS THEN THE ROAD SHOULD BE CLEARED OF ACCUMULATED SNOW AFTER EACH STORM EVENT.

EROSION CONTROL NOTES

2
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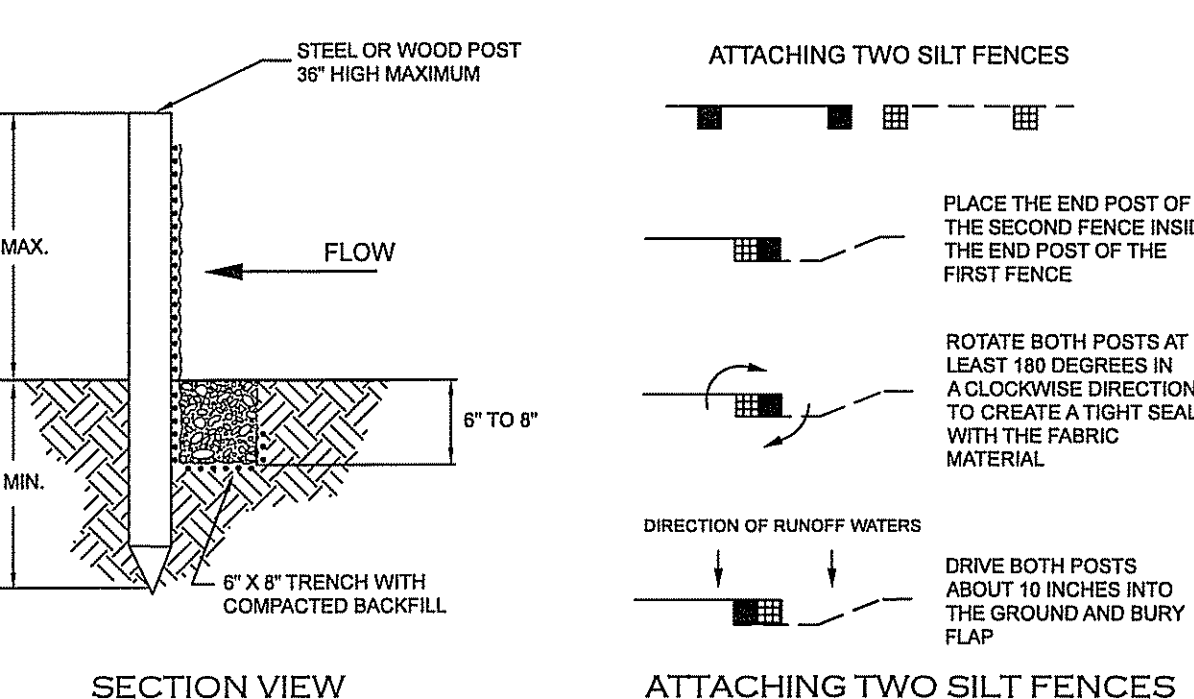
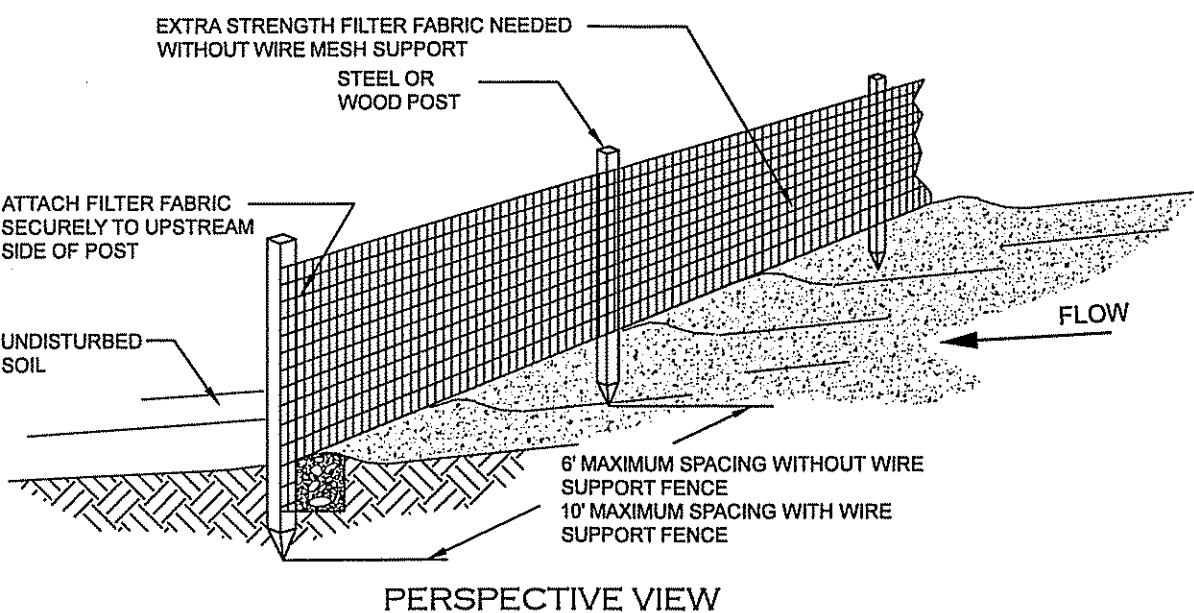


NOTES:

1. STONE CHECK DAMS SHOULD BE INSTALLED BEFORE RUNOFF IS DIRECTED TO THE SWALE OR DRAINAGE DITCH.
2. THE MAXIMUM CONTRIBUTING DRAINAGE AREA TO THE CHECK DAM SHOULD BE LESS THAN ONE ACRE.
3. STONE CHECK DAMS SHOULD NOT BE USED IN A FLOWING STREAM.
4. STONE CHECK DAMS SHOULD BE CONSTRUCTED OF WELL-GRADED ANGULAR 2 TO 3 INCH STONE. THE INSTALLATION OF 3/4-INCH STONE ON THE UPGRADE FACE IS RECOMMENDED FOR BETTER FILTERING.
5. WHEN INSTALLING STONE CHECK DAMS THE CONTRACTOR SHALL KEY THE STONE INTO THE CHANNEL BANKS AND EXTEND THE STONE BEYOND THE ABUTMENTS A MINIMUM OF 18-INCHES TO PREVENT FLOW AROUND THE DAM.
6. STONE CHECK DAMS SHOULD BE REMOVED ONCE THE SWALE OR DITCH HAS BEEN STABILIZED UNLESS OTHERWISE SPECIFIED.

STONE CHECK DAM

3
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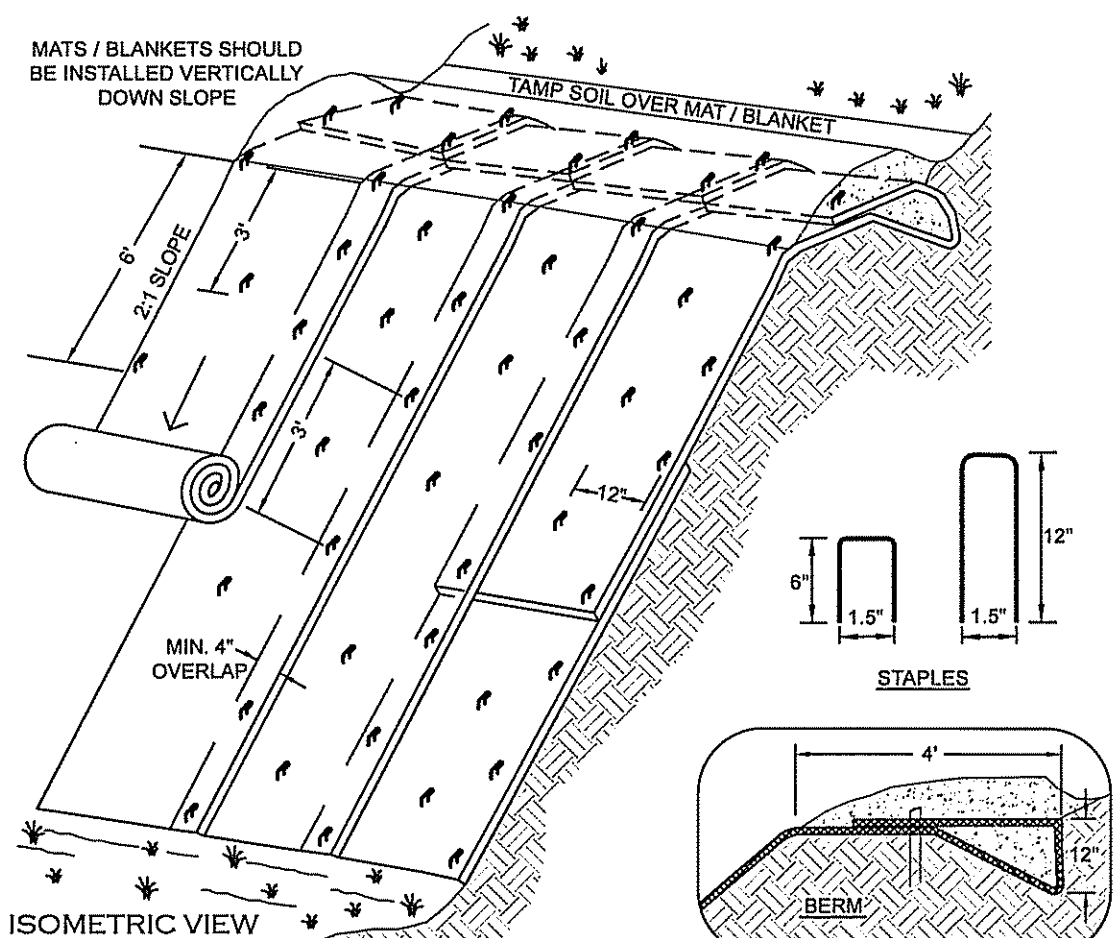
SECTION VIEW

NOTES:

1. SILT FENCES SHOULD NOT BE USED ACROSS STREAMS, CHANNELS, SWALES, DITCHES OR OTHER DRAINAGE WAYS.
2. SILT FENCE SHOULD BE INSTALLED FOLLOWING THE CONTOUR OF THE LAND AS CLOSELY AS POSSIBLE AND THE ENDS OF THE SILT FENCE SHOULD BE FLARED UPSLOPE.
3. IF THE SITE CONDITIONS INCLUDE FROZEN GROUND, LEDGE OR THE PRESENCE OF HEAVY ROOTS THE BASE OF THE FABRIC SHOULD BE EMBEDDED WITH A MINIMUM THICKNESS OF 8 INCHES OF 3/4-INCH STONE.
4. SILT FENCES PLACED AT THE TOE OF SLOPES SHOULD BE INSTALLED AT LEAST 6 FEET FROM THE TOE TO ALLOW SPACE FOR SHALLOW PONDING AND ACCESS FOR MAINTENANCE.
5. THE MAXIMUM SLOPE ABOVE THE FENCE SHOULD BE 2:1 AND THE MAXIMUM LENGTH OF SLOPE ABOVE THE FENCE SHOULD BE 100 FEET.
6. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE TO SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
7. SILT FENCES SHOULD BE REMOVED WHEN THE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED.

SILT FENCE

4
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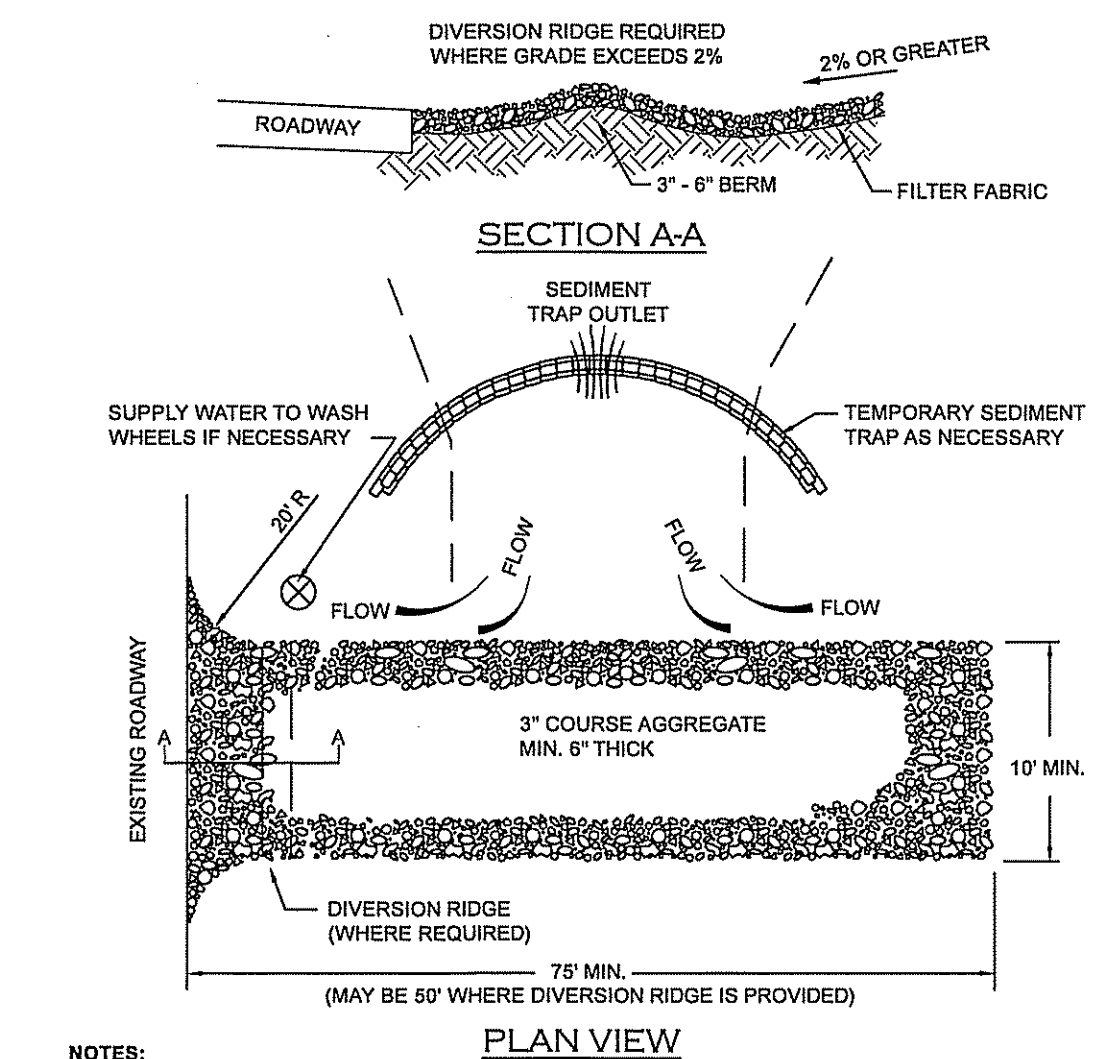


NOTES:

1. DIMENSIONS GIVEN IN THIS DETAIL ARE EXAMPLES. DEVICE SHOULD BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
2. INSTALL STRAW/COCONUT FIBER EROSION CONTROL MAT SUCH AS NORTH AMERICAN GREEN SC150 OR EQUAL ON ALL SLOPES EXCEEDING 3' HORIZ : 1' VERT.
3. THE EROSION CONTROL MATERIAL(S) SHALL BE ANCHORED WITH "U" SHAPED 11 GAUGE WIRE STAPLES OR WOODEN STAKES WITH A MINIMUM TOP WIDTH OF 1 INCH AND LENGTH OF 7 INCH.
4. SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS. MATS / BLANKETS SHALL HAVE GOOD SOIL CONTACT.
5. APPLY LIME, FERTILIZER AND PERMANENT SEEDING BEFORE PLACING BLANKETS.
6. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET AS SHOWN. ROLL THE BLANKETS DOWN THE SLOPE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES OR STAKES IN APPROPRIATE LOCATIONS. REFER TO MANUFACTURERS STAPLE GUIDE FOR CORRECT STAPLE PATTERN.
7. LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.
8. IN LOOSE SOIL CONDITIONS THE USE OF STAPLES OR STAKE LENGTHS GREATER THAN 6 INCHES MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.
9. THE CONTRACTOR SHALL MAINTAIN THE BLANKET UNTIL ALL WORK ON THE CONTRACT HAS BEEN COMPLETED AND ACCEPTED. MAINTENANCE SHALL CONSIST OF THE REPAIR OF AREAS WHERE DAMAGED BY ANY CAUSE. ALL DAMAGED AREAS SHALL BE REPAIRED TO REESTABLISH THE CONDITIONS AND GRADE OF THE SOIL PRIOR TO APPLICATION OF THE COVERING AND SHALL BE REFERTILIZED, RESEEDED AND REMULCHED AS DIRECTED.

EROSION BLANKETS - SLOPE INSTALLATION

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NOTES:

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. THE MINIMUM STONE USED SHOULD BE 3-INCH CRUSHED STONE.
3. THE MINIMUM LENGTH OF THE PAD SHOULD BE 75 FEET, EXCEPT THAT THE MINIMUM LENGTH MAY BE REDUCED TO 50 FEET IF A 3-INCH TO 6-INCH HIGH BERM IS INSTALLED AT THE ENTRANCE OF THE PROJECT SITE.
4. THE PAD SHOULD EXTEND THE FULL WIDTH OF THE CONSTRUCTION ACCESS ROAD OR 10 FEET, WHICHEVER IS GREATER.
5. THE PAD SHOULD SLOPE AWAY FROM THE EXISTING ROADWAY.
6. THE PAD SHOULD BE AT LEAST 6-INCHES THICK.
7. THE GEOTEXTILE FILTER FABRIC SHOULD BE PLACED BETWEEN THE STONE PAD AND THE EARTH SURFACE BELOW THE PAD.
8. THE PAD SHALL BE MAINTAINED OR REPLACED WHEN MUD AND SOIL PARTICLES CLOG THE VOIDS IN THE STONE SUCH THAT MUD AND SOIL PARTICLES ARE TRACKED OFF-SITE.
9. NATURAL DRAINAGE THAT CROSSES THE LOCATION OF THE STONE PAD SHOULD BE INTERCEPTED AND PIPED BENEATH THE PAD, AS NECESSARY, WITH SUITABLE OUTLET PROTECTION.
10. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
11. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

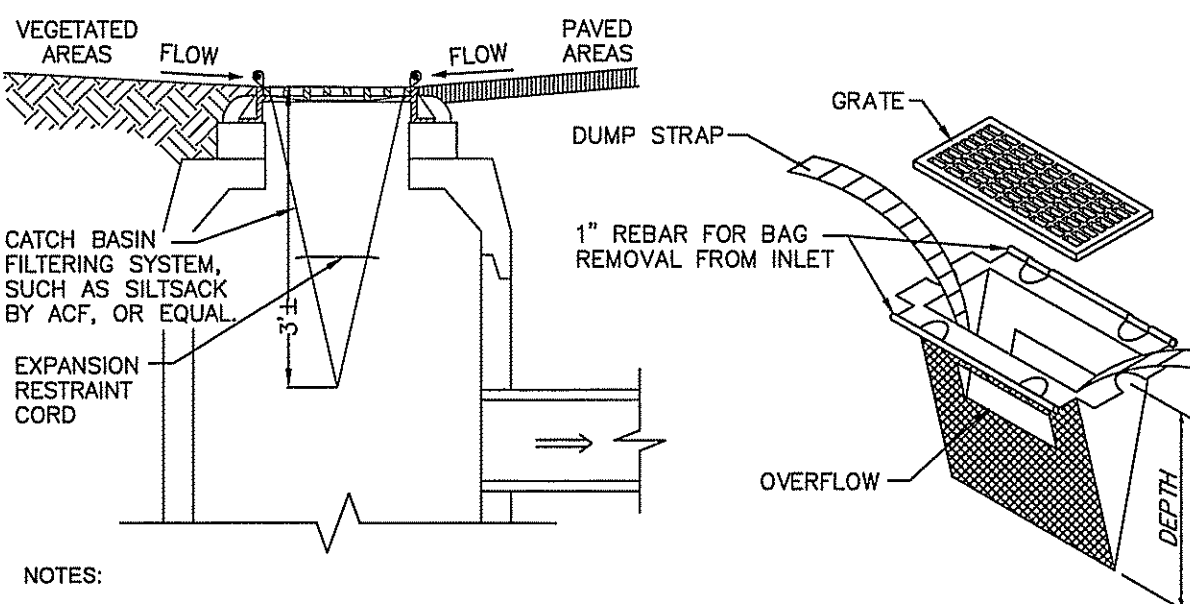
GRAVEL CONSTRUCTION EXIT

6
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1. TEMPORARY PROTECTION OF DISTURBED AREAS SHALL BE IMPLEMENTED WHERE A TEMPORARY STAND OF GRASS OR SMALL GRAINS WILL NORMALLY PRODUCE SUFFICIENT COVER TO RETARD EROSION AND REDUCE SEDIMENT.
2. USE OF TEMPORARY SEEDING SHALL BE IMPLEMENTED WHEN A DISTURBED AREA OR MATERIAL STOCKPILE WILL BE INACTIVE FOR A PROLONGED PERIOD OF TIME.
3. ALL ESSENTIAL GRADING SUCH AS DIVERSIONS, DAMS, DITCHES AND DRAINS NEEDED TO PREVENT GULLYING AND REDUCE SILTATION SHALL BE COMPLETED PRIOR TO SEEDING.
4. PREPARE SEEDBED BY REMOVING ALL STONES, TRASH AND STUMPING DEBRIS THAT WILL INTERFERE WITH SEEDING AREA. WHERE FEASIBLE, TILL THE SOIL TO A DEPTH OF ABOUT 3 INCHES TO PREPARE SEEDBED AND MIX FERTILIZER INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN A FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATIONS SHOULD BE PERFORMED ACROSS THE SLOPE.
5. A MINIMUM OF 300 POUNDS PER ACRE (7 LBS. PER 1,000 SQ.FT.) OF 10-10-10 FERTILIZER, OR ITS EQUIVALENT, SHALL BE UNIFORMLY SPREAD OVER THE AREA PRIOR TO BEING INCORPORATED INTO THE SOIL.
6. THE SEED SHALL BE SPREAD UNIFORMLY OVER THE AREA. AFTER SEEDING, THE SOIL SHOULD BE FIRMED BY ROLLING OR PACKING. WHERE ROLLING OR PACKING IS NOT FEASIBLE, THE SEED SHALL BE COVERED LIGHTLY BY RAKING, DISKING, OR DRAGGING.
7. HAY OR STRAW MULCH MAY BE NECESSARY TO PROMOTE SEED GERMINATION IN DRY AND/OR INFERTILE CONDITIONS.
8. PLANT SELECTION AND APPLICATION RATES:

SPECIES	RATE 1 (LBS/AC.)	RATE 2 (LBS/1,000 S.F.)	REMARKS
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WINTER RYE	112	2.5	FALL, 8/15 TO 9/15 PLANT 1.0 INCH DEEP
OATS	80	2.0	SPRING PRIOR TO 5/15 PLANT 1.0 INCH DEEP
ANNUAL RYEGRASS	40	1.0	QUICK, SHORT DURATION; GOOD APPEARANCE EARLY SPRING & FALL, PLANT 0.25 INCH DEEP
PERENNIAL RYEGRASS	30	0.7	LASTS LONGER THAN ANNUAL; LATE SPRING & FALL MULCHING WILL ALLOW USE ALL SEASON. PLANT 0.5 INCH DEEP

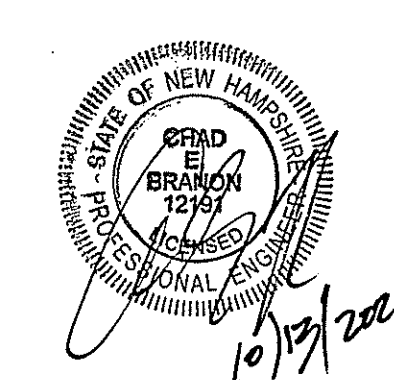


NOTES:

1. INSTALL AND MAINTAIN SACKS IN ALL CATCH BASINS.
2. TO INSTALL SACK, REMOVE CATCH BASIN GRATE AND PLACE SACK IN OPENING. HOLD OUT APPROXIMATELY SIX INCHES OF THE SACK OUTSIDE THE FRAME FOR THE LIFTING STRAPS. REPLACE THE GRATE TO HOLD THE SACK IN PLACE.
3. THE SACK SHOULD BE INSPECTED AFTER EVERY STORM, OR ONCE EVERY TWO WEEKS, WHICH EVER OCCURS FIRST.
4. THE RESTRAINT CORD SHOULD BE VISIBLE AT ALL TIMES. IF THE CORD IS COVERED WITH SEDIMENT, THE SACK SHOULD BE EMPTIED. EMPTY THE SACK AWAY FROM THE CATCH BASIN TO PREVENT SEDIMENT FROM RE-ENTERING THE CATCH BASIN. EMPTY THE SACK PER THE MANUFACTURERS RECOMMENDATIONS.
5. REPLACE THE SACK IN THE CATCH BASIN AFTER THE SACK HAS BEEN EMPTIED. ONCE CONSTRUCTION IS COMPLETE AND ALL DISTURBED AREAS HAVE BEEN STABILIZED BY PAVING OR A HEALTHY VEGETATIVE COVER, REMOVE THE SACK FROM THE CATCH BASINS.

SILT SACK SEDIMENT FILTER

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CONSTRUCTION DETAILS

TAX MAP 115 LOT 549-B & 549-E

(852 & 872 OLD CONCORD ROAD)

HENNIKER, NEW HAMPSHIRE

PREPARED FOR:

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SCALE: N.T.S. OCTOBER 13, 2021

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